

STRATA PLAN OF PART OF LOT 1 SECTION 8 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN EPP48816

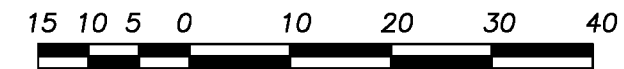
SHEET 1 OF 37 SHEETS

STRATA PLAN EPS8626 PHASE 1

B.C.G.S. 92G.016
CITY OF SURREY
#5858 132nd STREET,
SURREY, B.C.
P.I.D 031-189-008

UTM ZONE 10 Coordinates
DATUM: NAD83 (CSRS) 4.0.0.BC.1.GVRD
NORTHING: 5439904.759 m
EASTING: 510461.105 m
ABSOLUTE ACCURACY: 0.010 m

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 750



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED

LEGEND:

- ⊙ Control Monument Found
- Iron post Found
- Lead Plug Found
- L.C.P. denotes limited common property
- PT.S.L. denotes part strata lot
- S.L. denotes strata lot
- C.P. denotes common property
- H.W.T. denotes hot water tank enclosure (NH)
- FUR. denotes furnace enclosure (NH)
- STORAGE denotes storage room (NH)
- C.F. denotes common facility
- E/C denotes electrical closet
- typ. denotes typical
- NH denotes Non habitable area

NOTE:

Balcony and roof deck areas are defined as to height by the center of the floor above or its extensions, or where there is no floor above by the average height of strata lots within the same building, unless otherwise noted.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 5143 and 5923.

Integrated Survey Area No. 1 (SURREY), NAD83(CSRS) 4.0.0.BC.1.MVRD.

Grid bearings are derived from observations between geodetic control monuments 5143 and 5923.

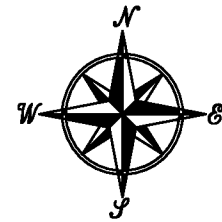
This plan shows horizontal ground level distance except where otherwise noted. To compute grid distance, multiply ground-level distance by the combined factor of 0.99959065 which has been derived from 5143 and 5923.

This plan lies within the City of Surrey.

This plan lies within the Metro Vancouver Regional District.

This Plan is Phase 1 of a 2 phase strata plan under section 224 of the Strata property Act lying within the jurisdiction of the Approving Officer for City of Surrey. The common facilities "Outdoor Amenity" and "Indoor Amenity" in this phase are subject to the conditions set out in the Form P filed for this strata plan.

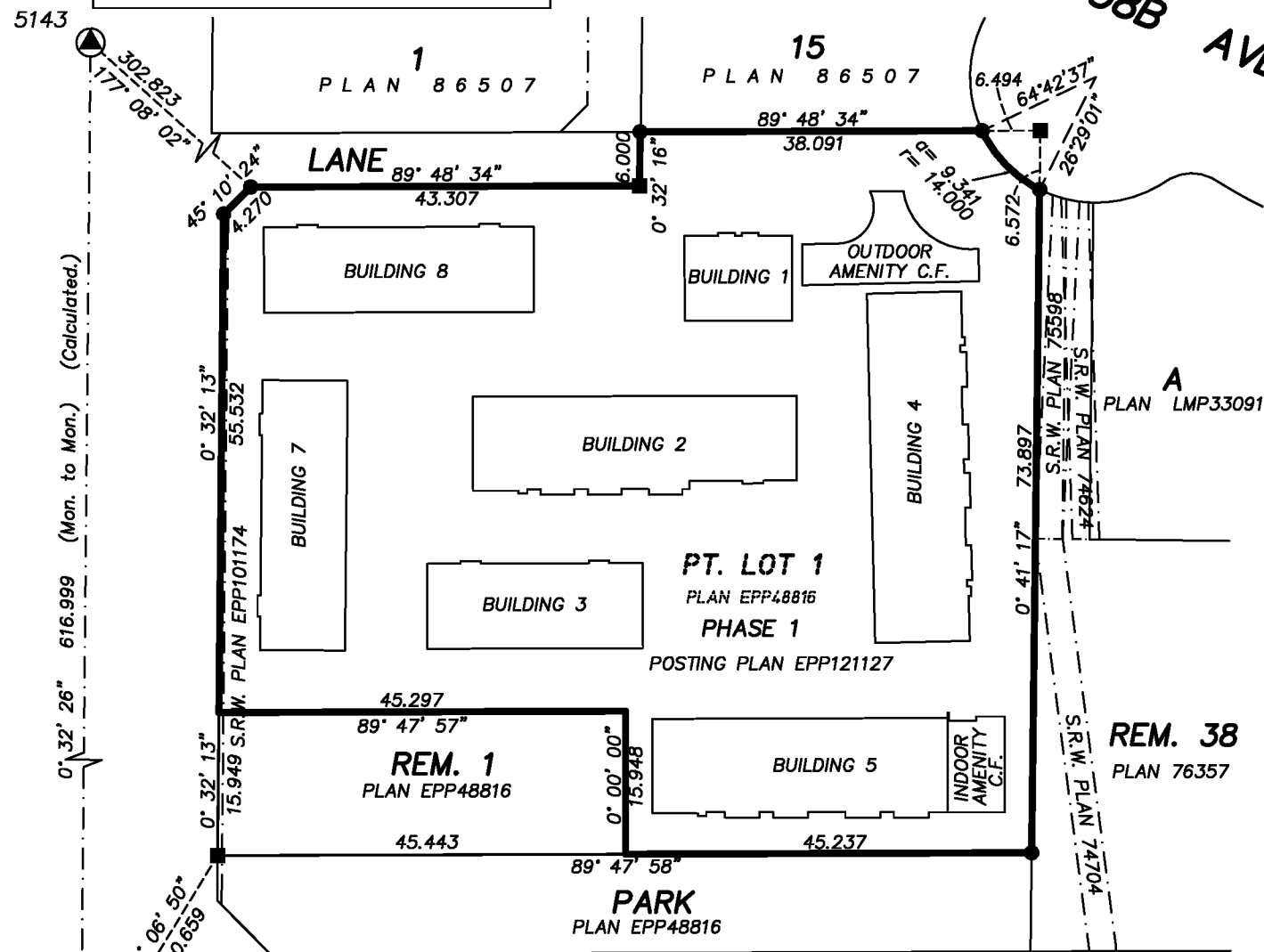
The field survey represented by this plan was completed on the 4th day of July, 2022.
Johnson C. Tam, B.C.L.S 711.



132nd STREET

58B AVENUE

HIGHWAY NO. 10

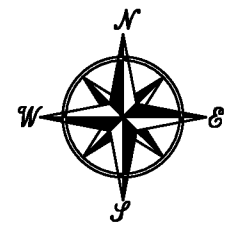


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File: 5103-FS-P1

UTM ZONE 10 Coordinates
DATUM: NAD83 (CSRS) 4.0.0.BC.1.GVRD
NORTHING: 5439288.037 m
EASTING: 510455.286 m
ABSOLUTE ACCURACY: 0.010 m

Strata lot boundaries in this strata plan are defined as follows:
Exterior face of exterior structural walls.
Centerline of demising walls between strata lots.

BUILDING FOUNDATIONS



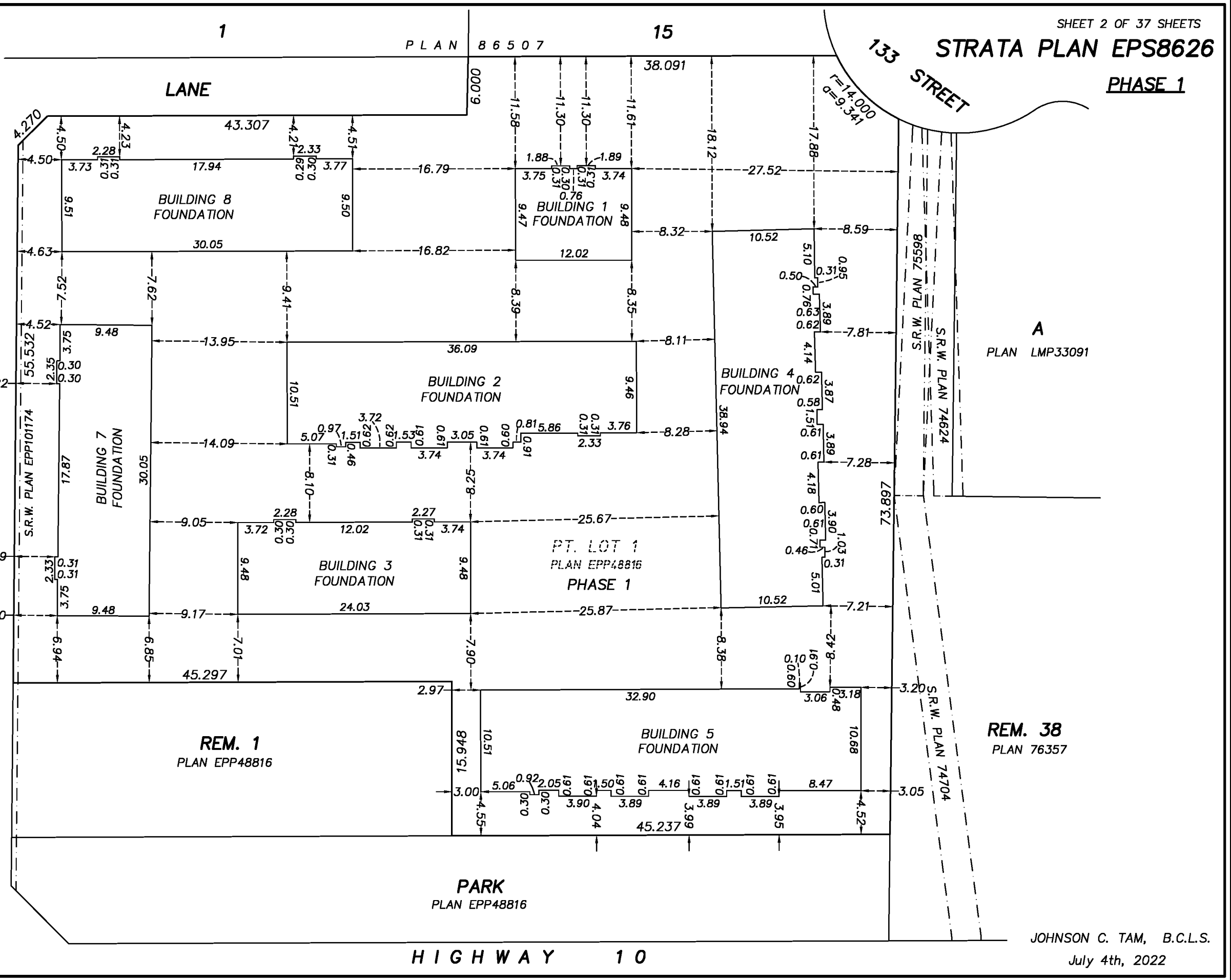
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NOTE:
Dimensions are shown to exterior of concrete foundations except where otherwise noted.

132 STREET



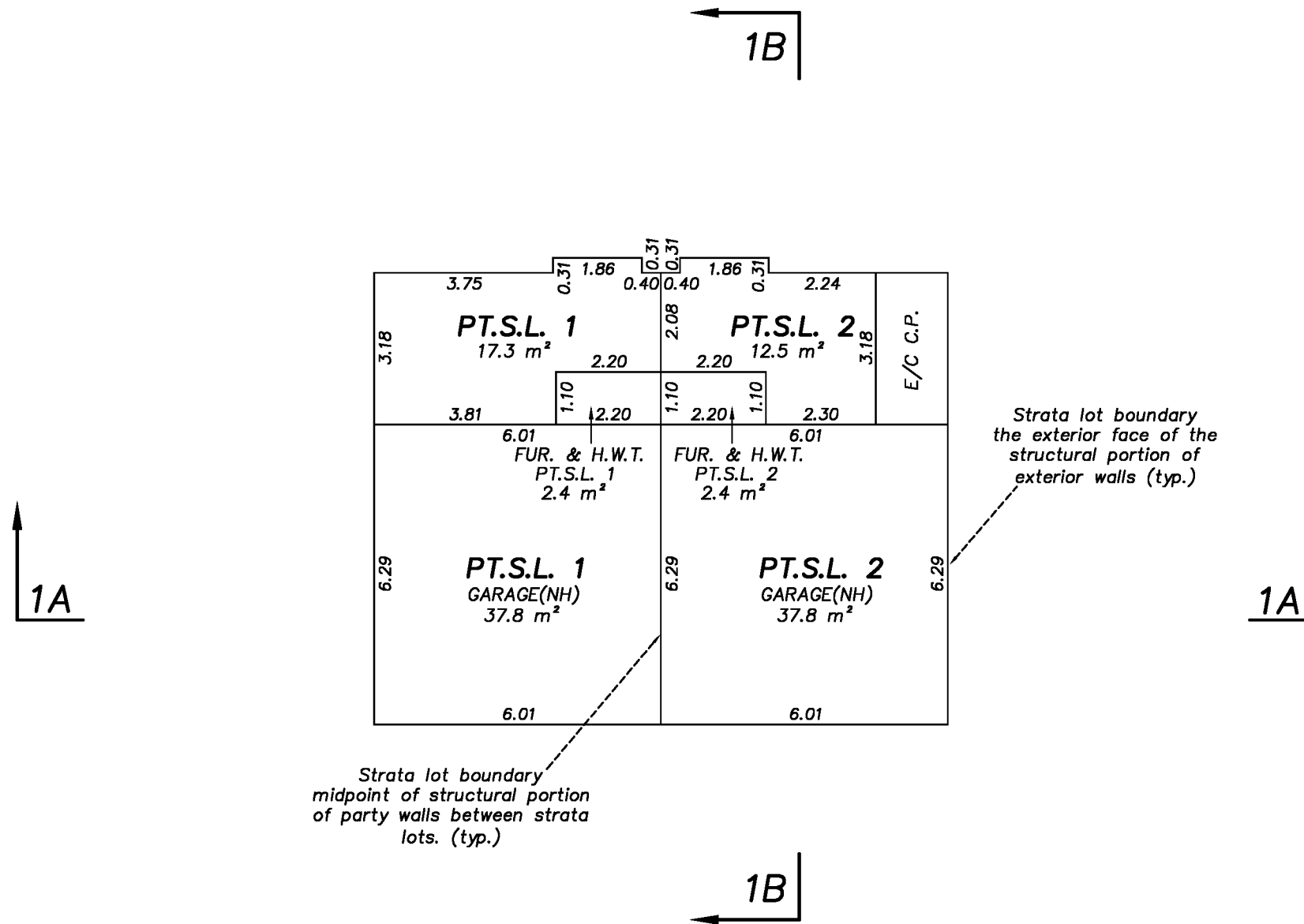
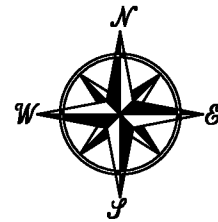
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JOHNSON C. TAM, B.C.L.S.
 July 4th, 2022

SHEET 2 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

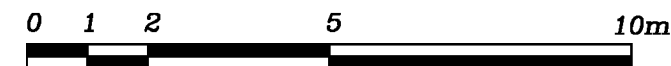
BUILDING 1
PART STRATA LOTS 1 AND 2
LEVEL 1

SHEET 3 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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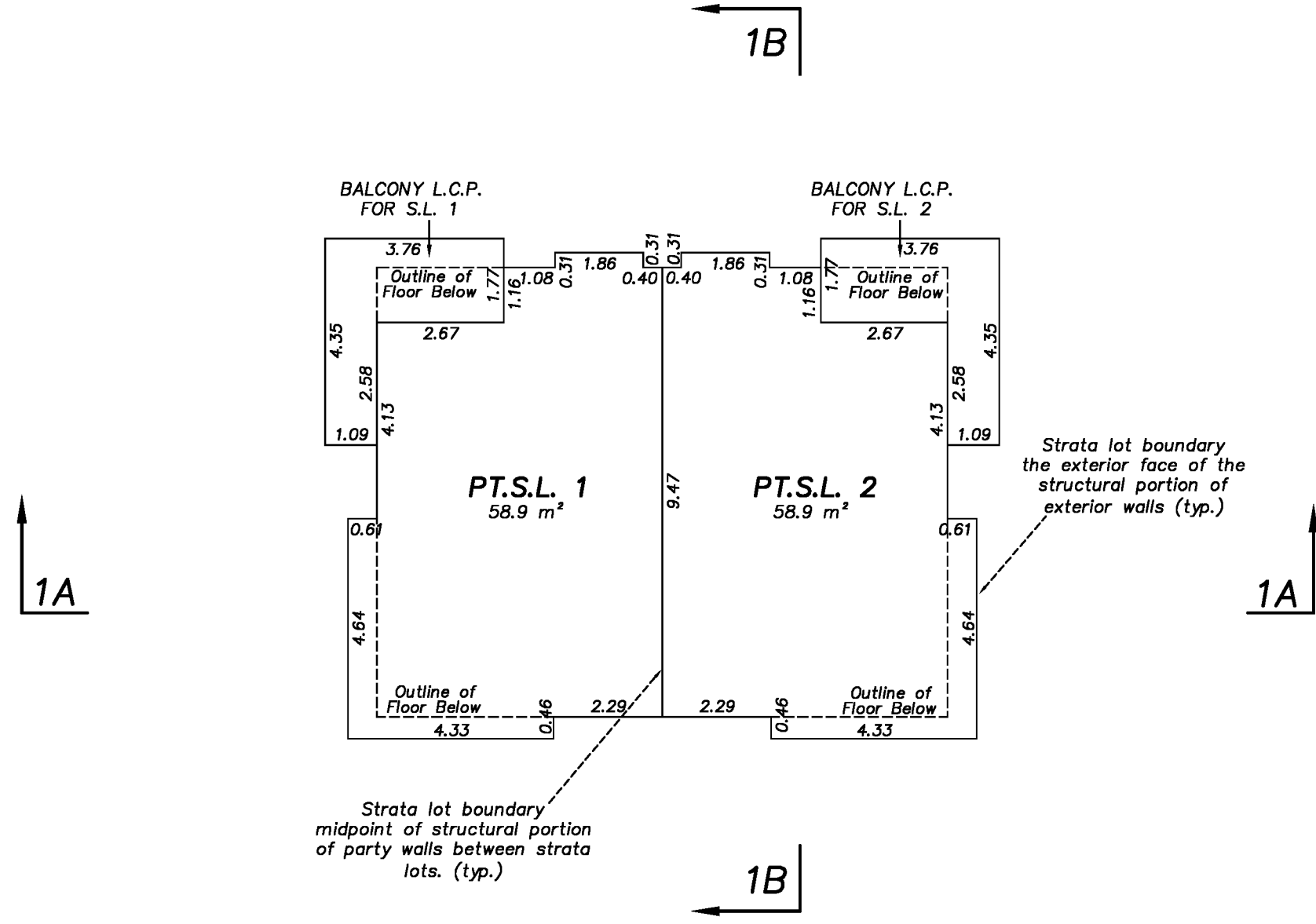
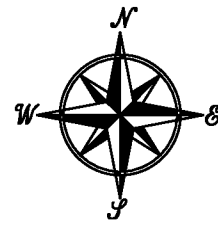
NOTE:
This sheet shows strata lot boundary dimensions to the exterior face of exterior structural walls and the midpoint between structural portions of party walls between strata lots.

Section arrows on this plan point in the direction of view.

JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

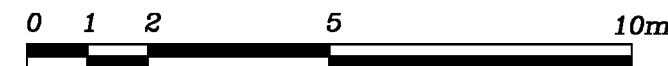
BUILDING 1
PART STRATA LOTS 1 AND 2
LEVEL 2

SHEET 4 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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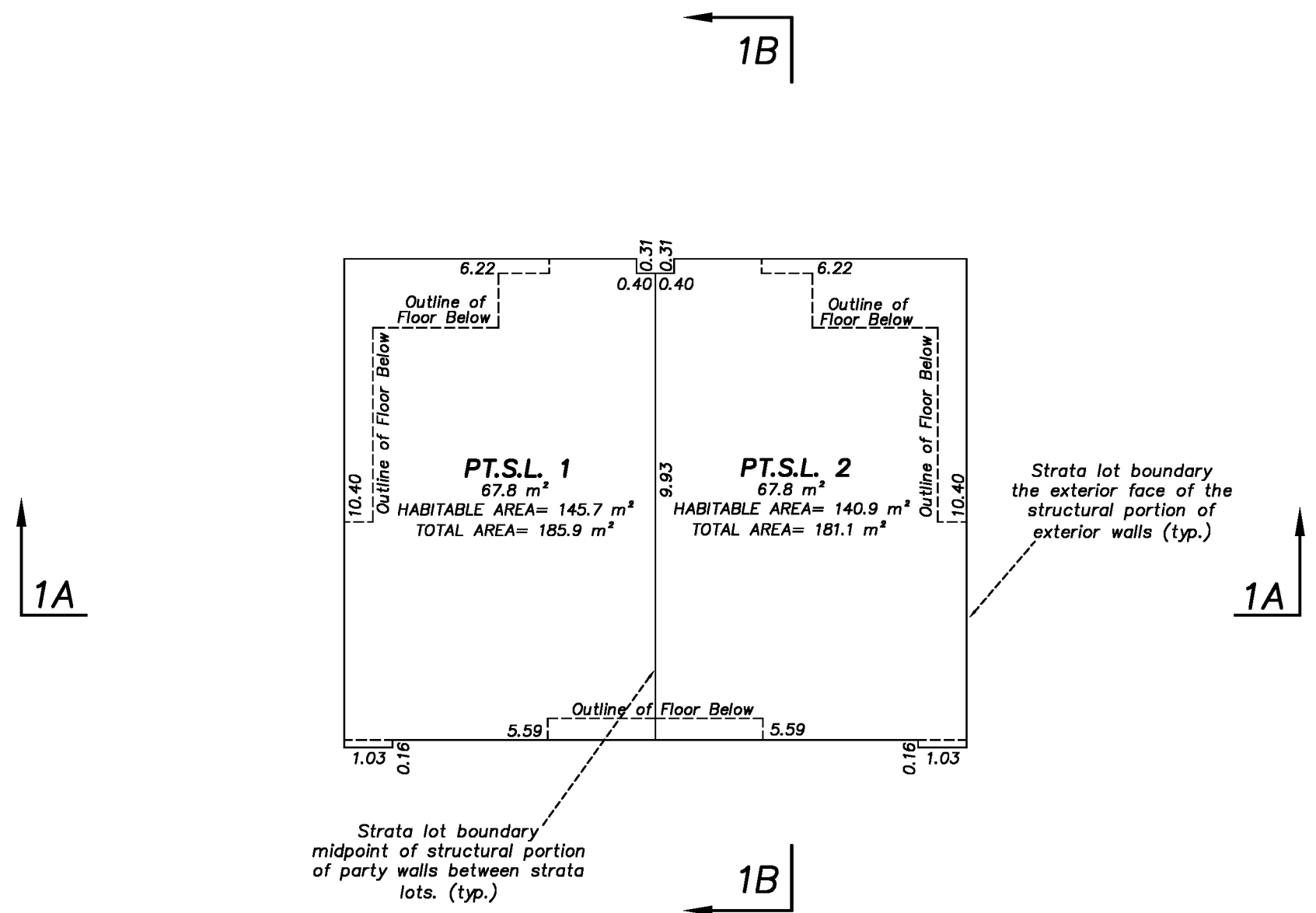
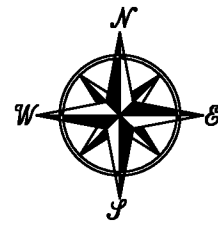
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JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 1
PART STRATA LOTS 1 AND 2
LEVEL 3

SHEET 5 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

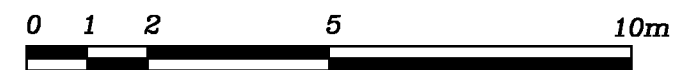


Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)

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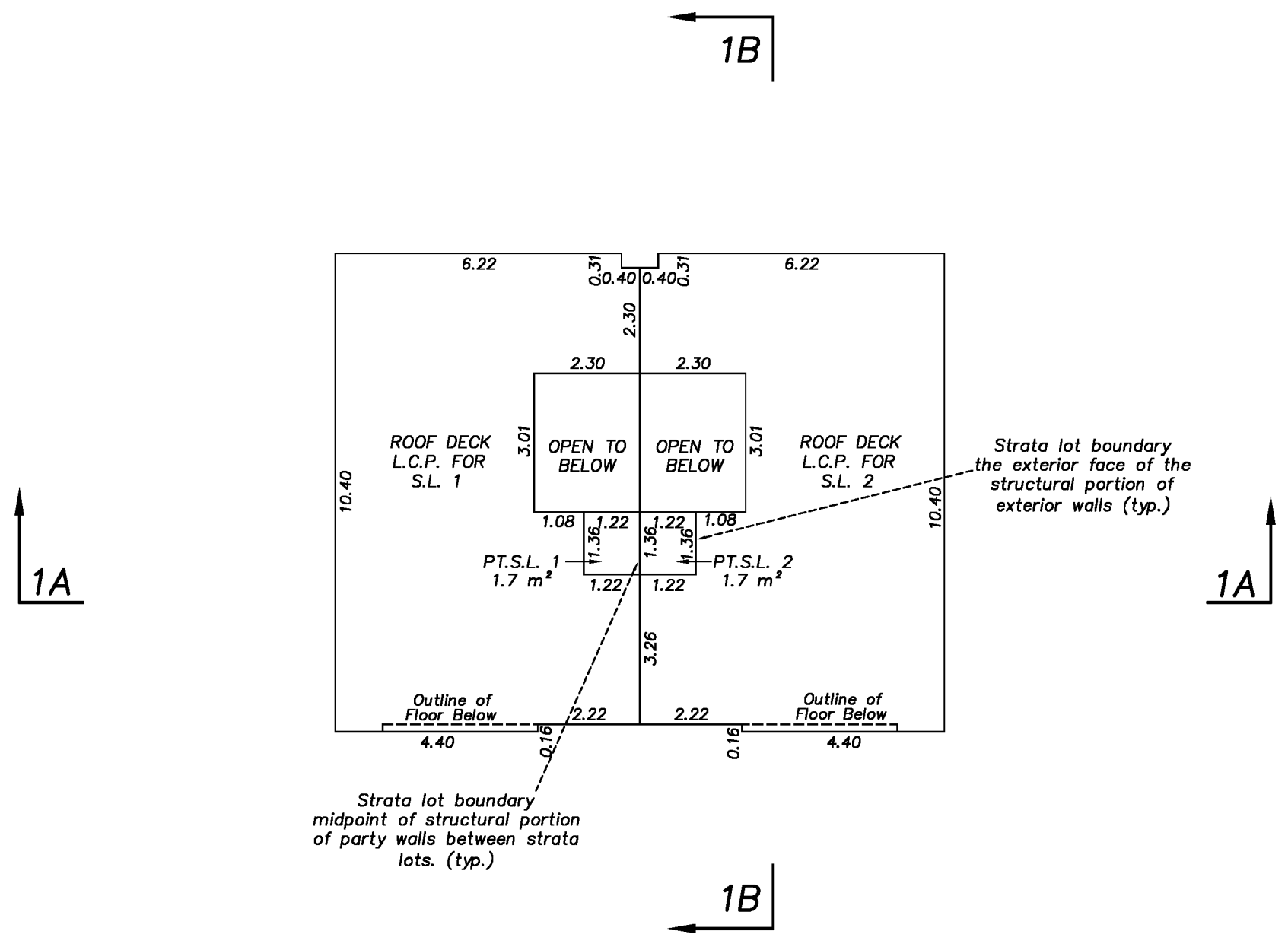
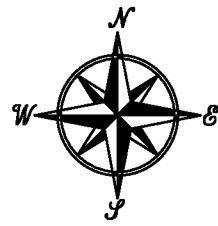
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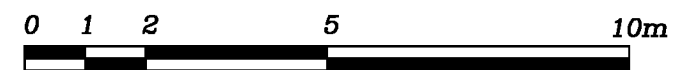
BUILDING 1
PART STRATA LOTS 1 AND 2
LEVEL 4

SHEET 6 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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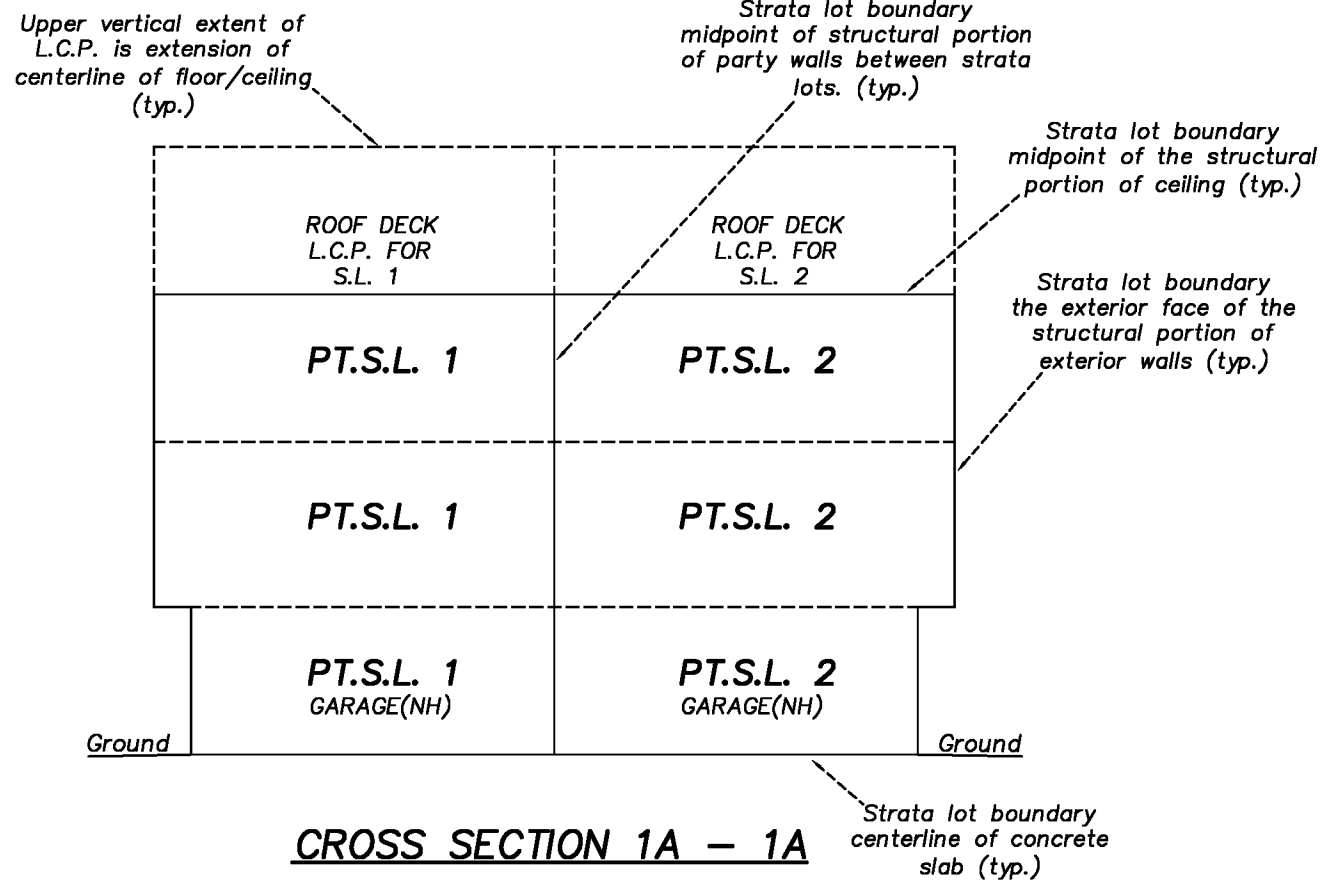
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July 4th, 2022

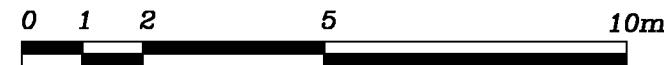
BUILDING 1 CROSS SECTIONS

SHEET 7 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

LEVEL 4
LEVEL 3
LEVEL 2
LEVEL 1



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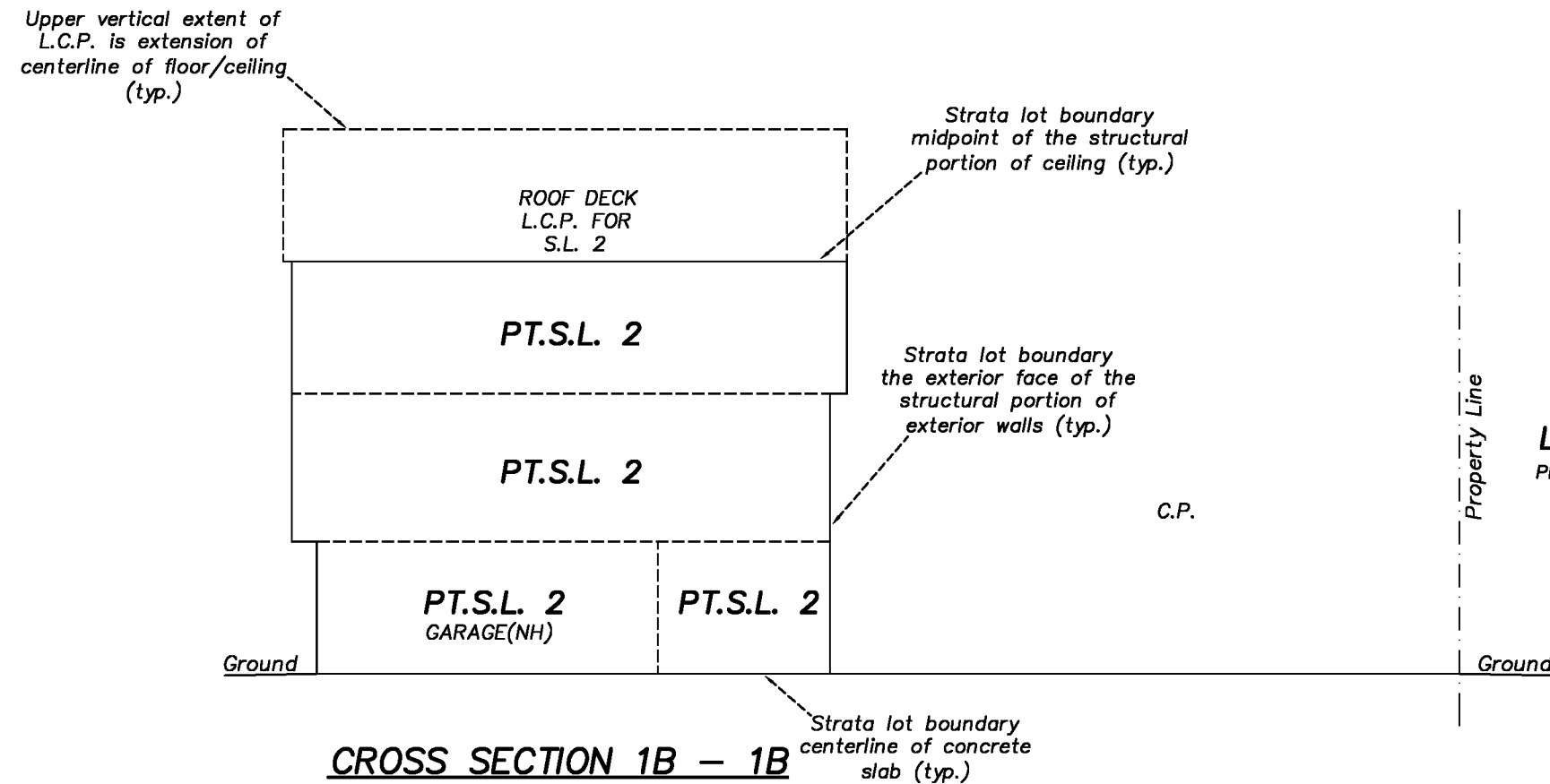


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LEVEL 4
LEVEL 3
LEVEL 2
LEVEL 1

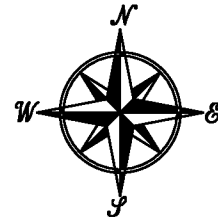


LOT 15
PLAN 86507

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July 4th, 2022

BUILDING 2
PART STRATA LOTS 3 TO 8
LEVEL 1

SHEET 8 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

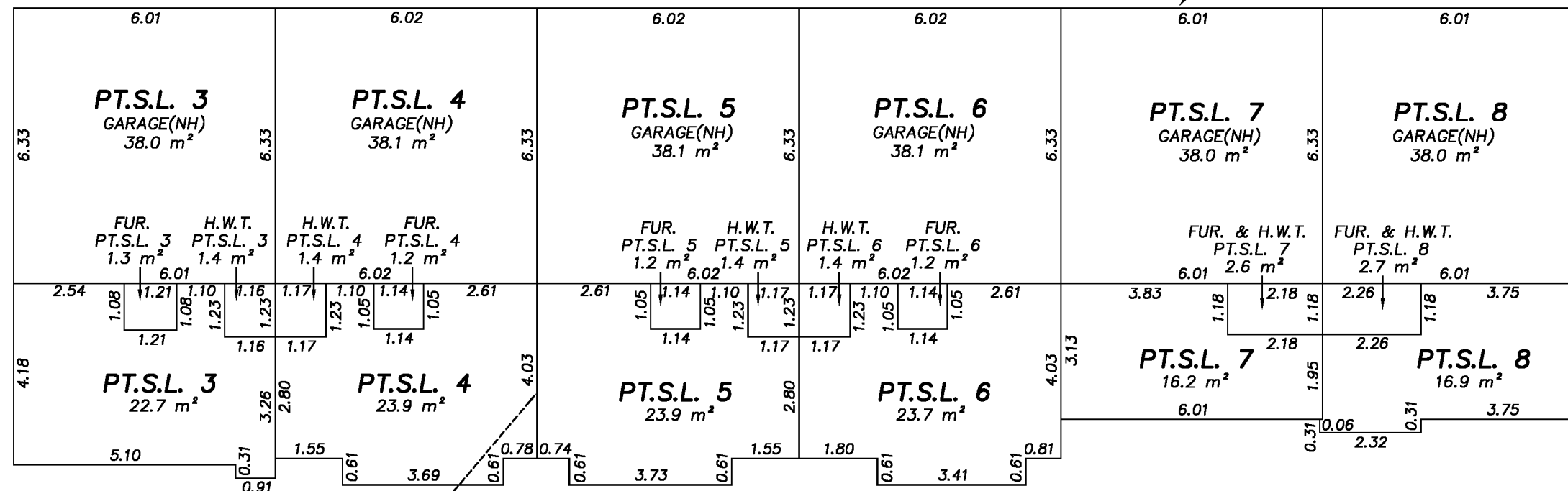


2A

2B

2A

2B

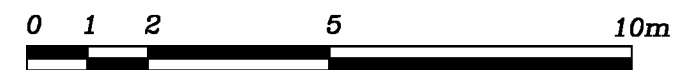


Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)

Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

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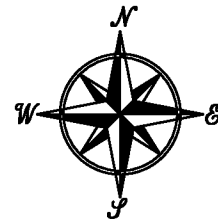
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strata lots.

Section arrows on this plan point in the
direction of view.

JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 2
PART STRATA LOTS 3 TO 8
LEVEL 2

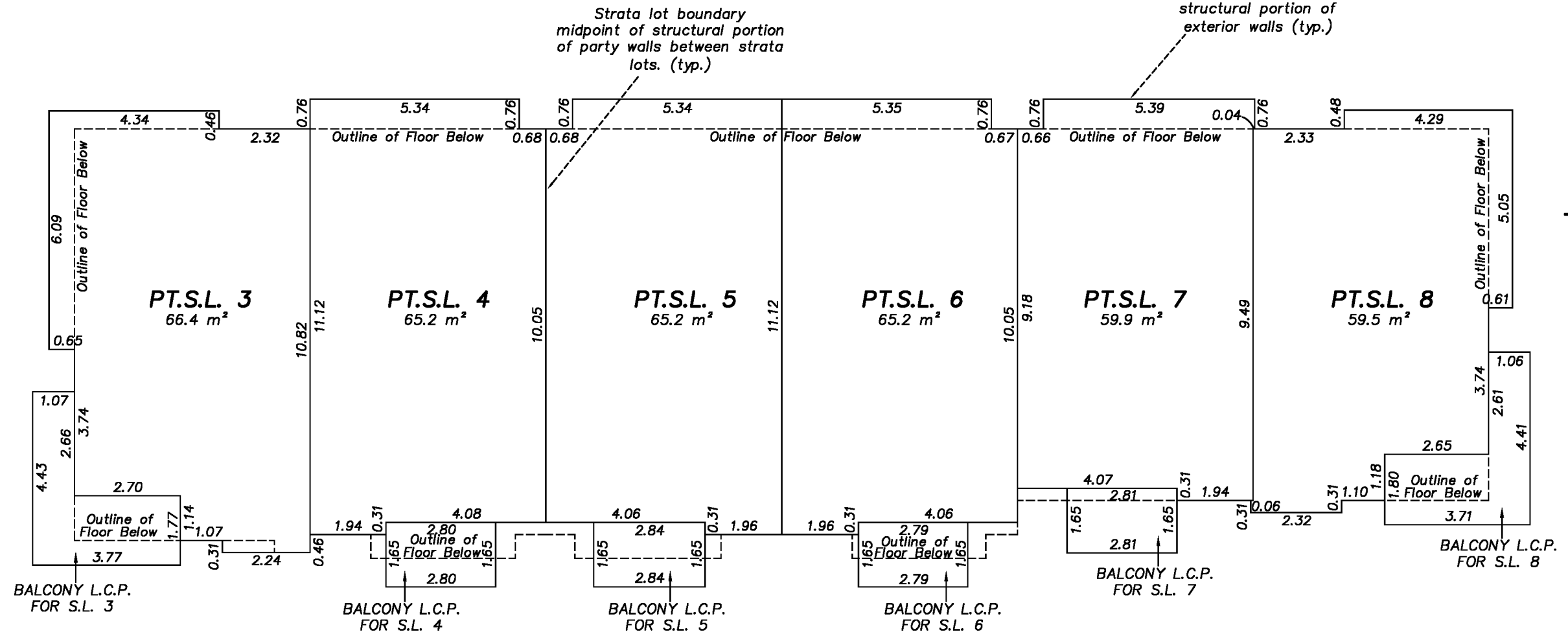
SHEET 9 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



2A

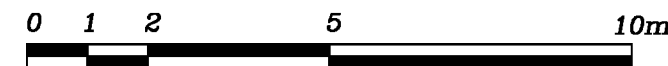
2B

2A



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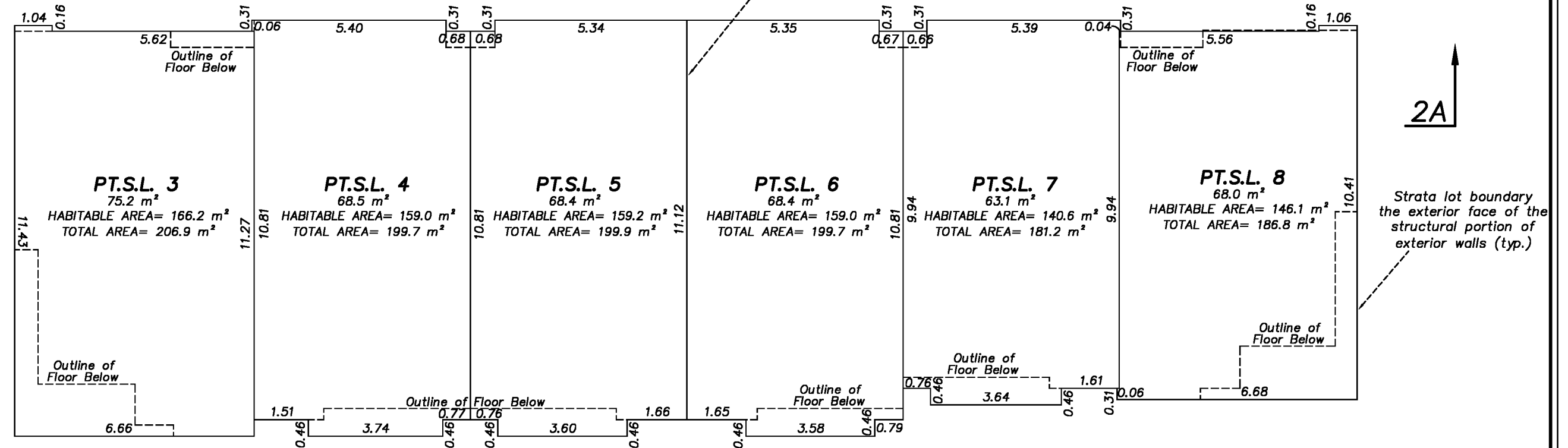
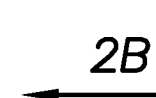
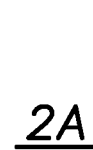
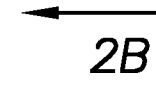
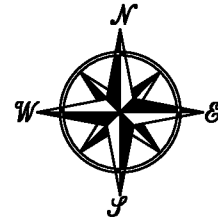
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Section arrows on this plan point in the direction of view.

JOHNSON C. TAM, B.C.L.S.
 July 4th, 2022

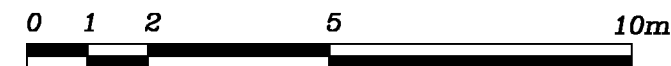
BUILDING 2
PART STRATA LOTS 3 TO 8
LEVEL 3

SHEET 10 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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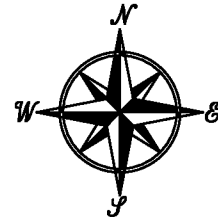
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JOHNSON C. TAM, B.C.L.S.
 July 4th, 2022

BUILDING 2
PART STRATA LOTS 3 TO 8
LEVEL 4

SHEET 11 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

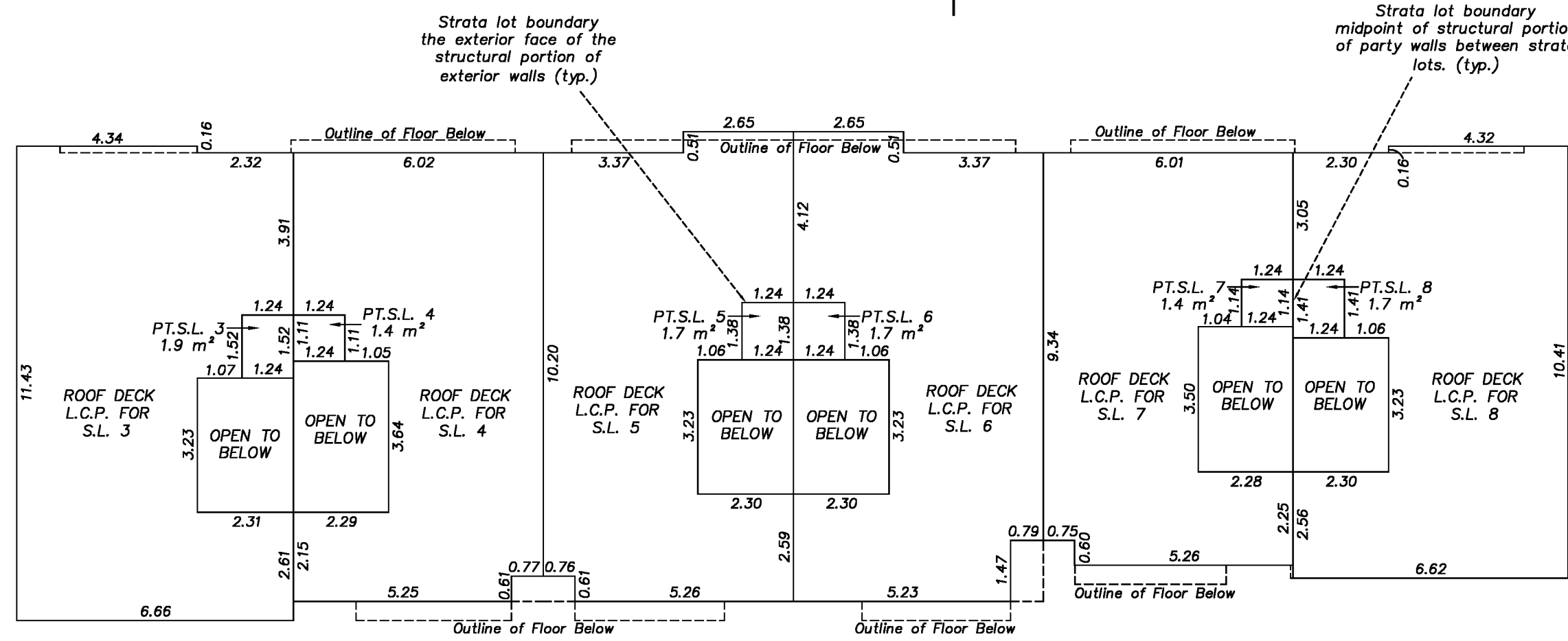


2A

2A

2B

2B



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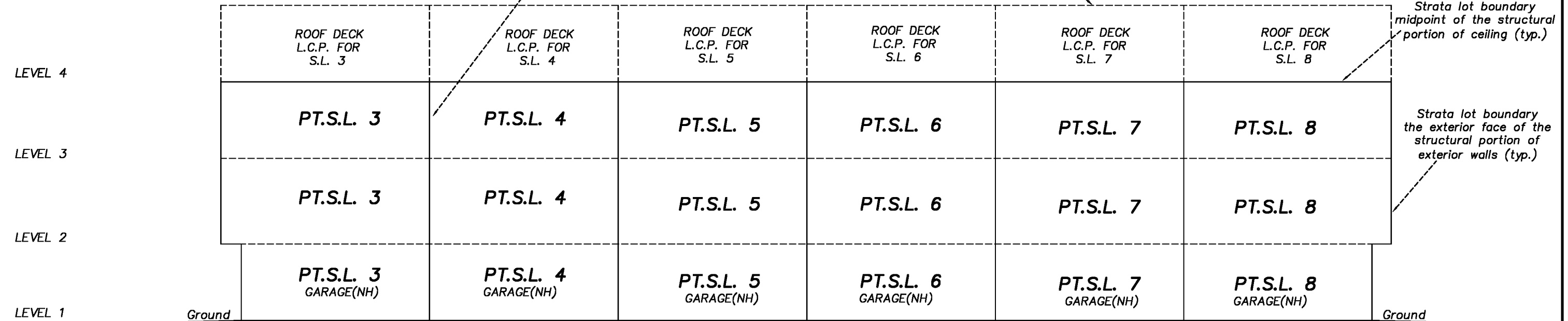
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July 4th, 2022

BUILDING 2 CROSS SECTIONS

SHEET 12 OF 37 SHEETS

STRATA PLAN EPS8626

PHASE 1



CROSS SECTION 2A - 2A

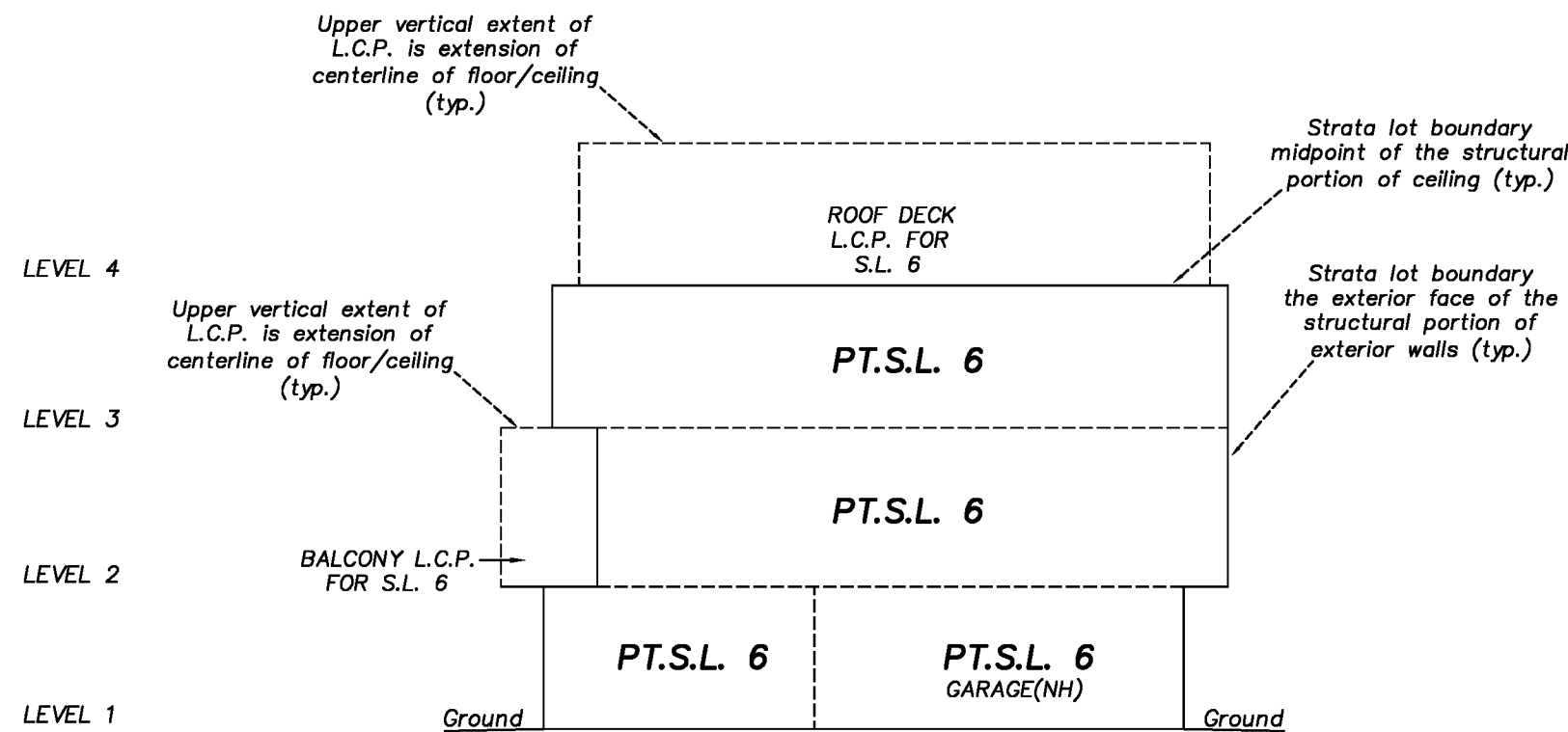
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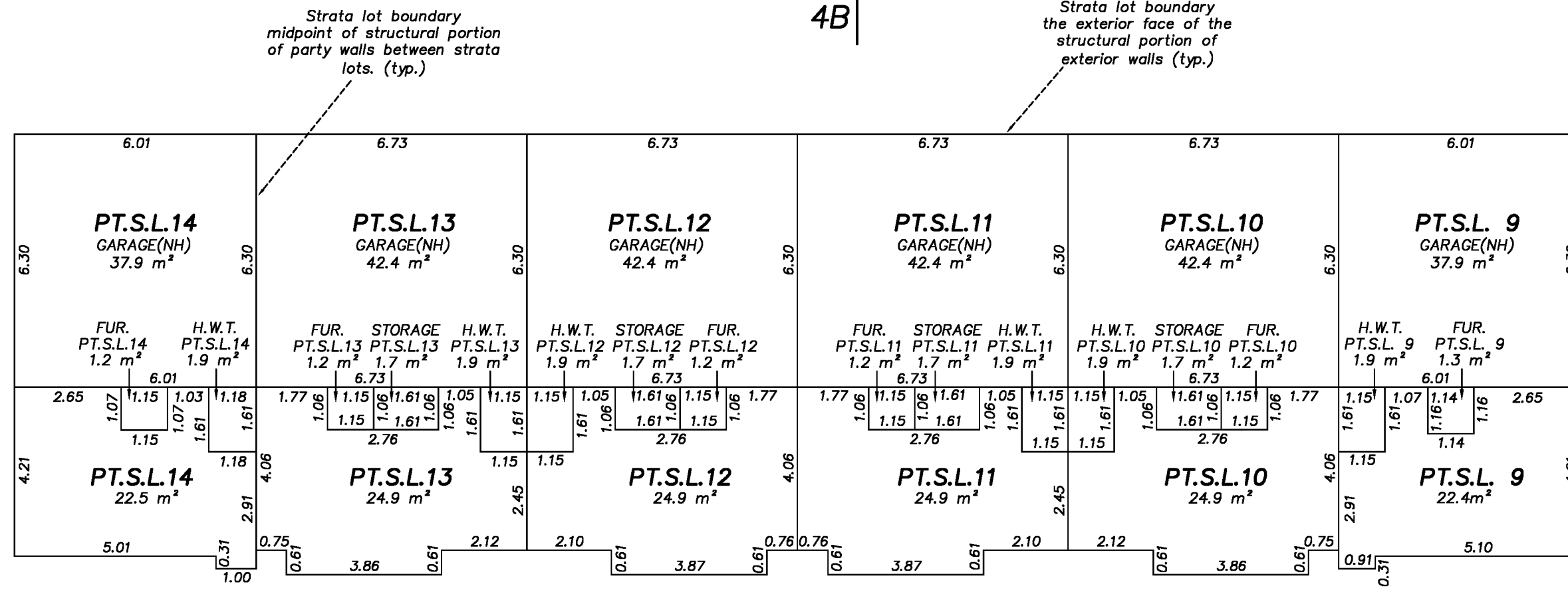
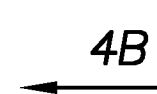
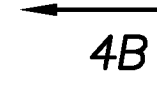
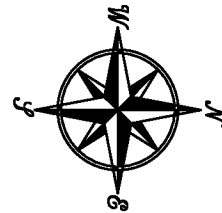
CROSS SECTION 2B - 2B

Strata lot boundary centerline of concrete slab (typ.)

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July 4th, 2022

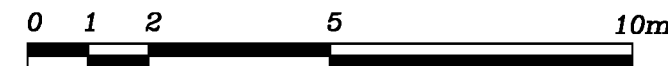
BUILDING 4
PART STRATA LOTS 9 TO 14
LEVEL 1

SHEET 13 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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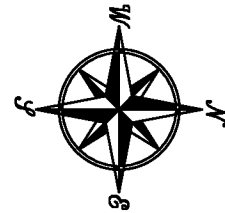
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JOHNSON C. TAM, B.C.L.S.
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BUILDING 4
PART STRATA LOTS 9 TO 14
LEVEL 2

SHEET 14 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

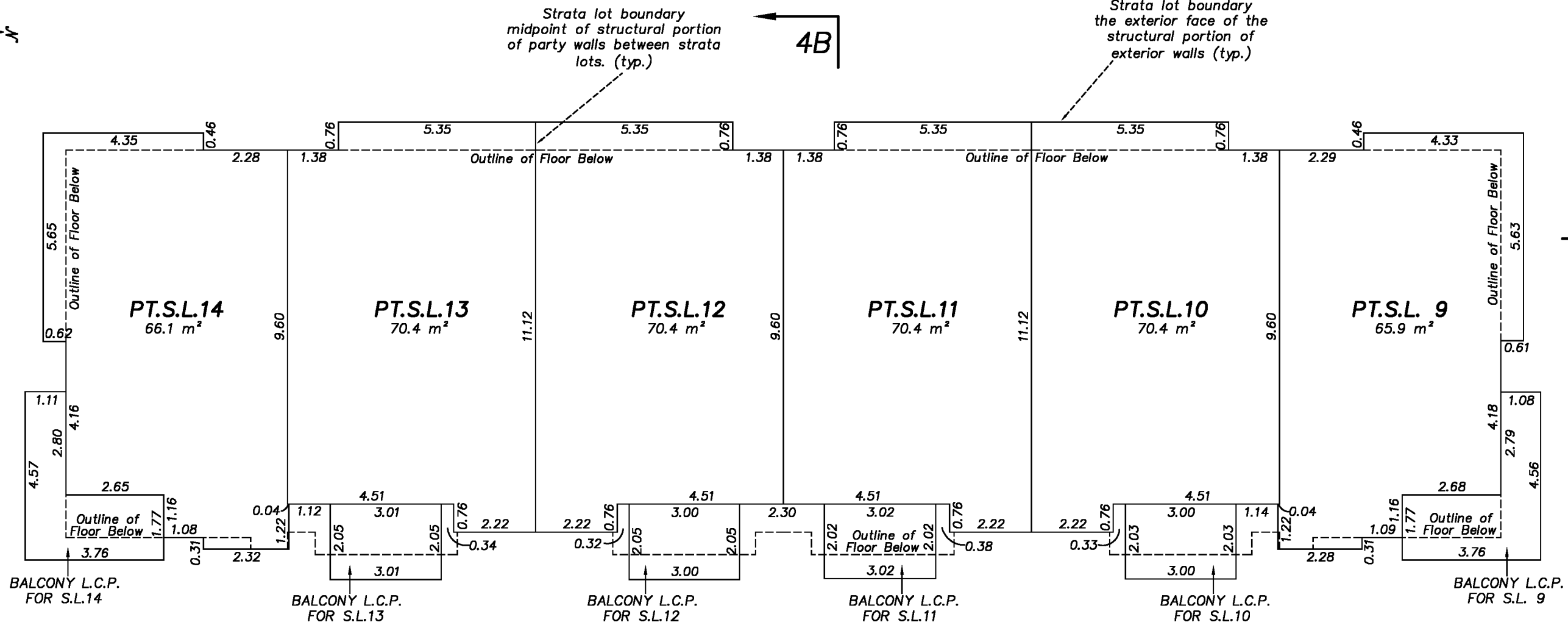


4A

4A

4B

4B



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The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 125



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED

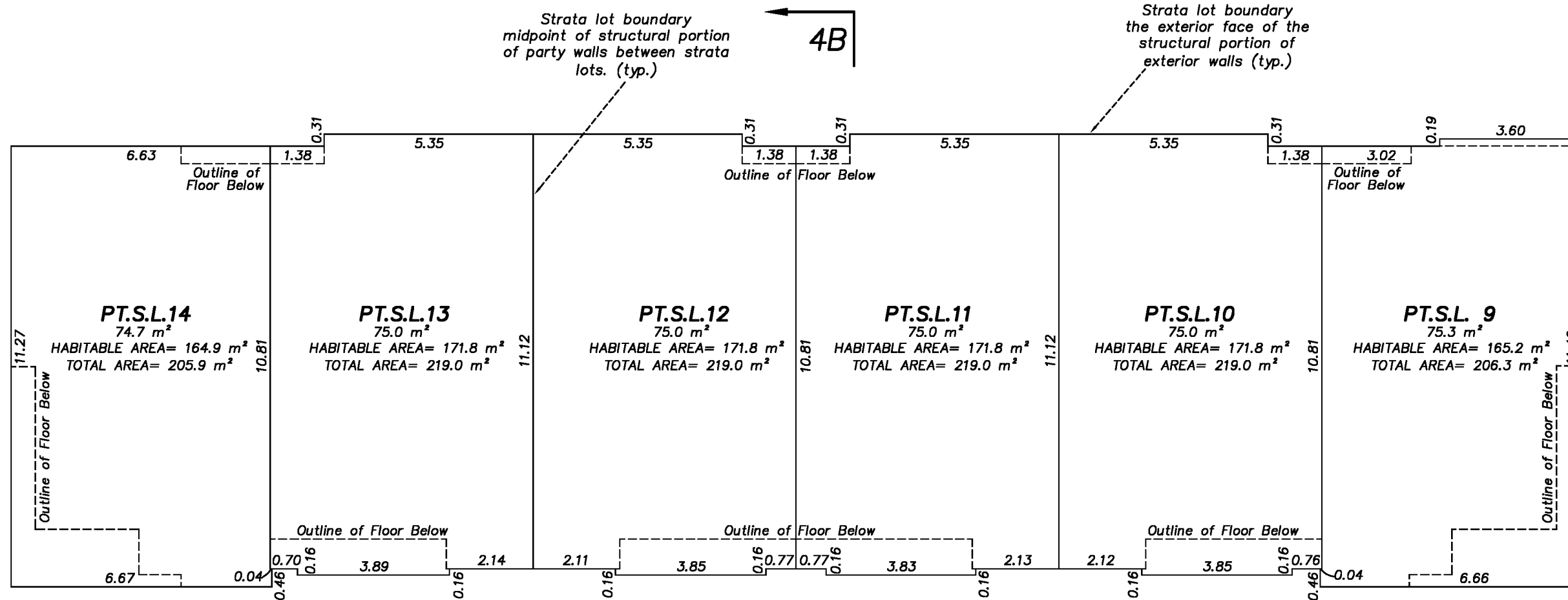
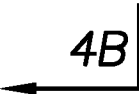
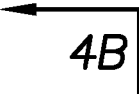
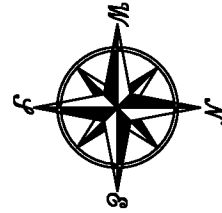
NOTE:
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Section arrows on this plan point in the direction of view.

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 July 4th, 2022

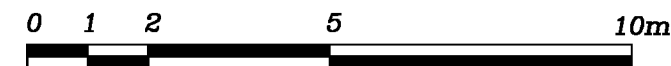
BUILDING 4
PART STRATA LOTS 9 TO 14
LEVEL 3

SHEET 15 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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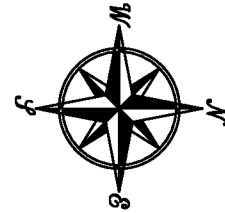
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 July 4th, 2022

BUILDING 4
PART STRATA LOTS 9 TO 14
LEVEL 4

SHEET 16 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

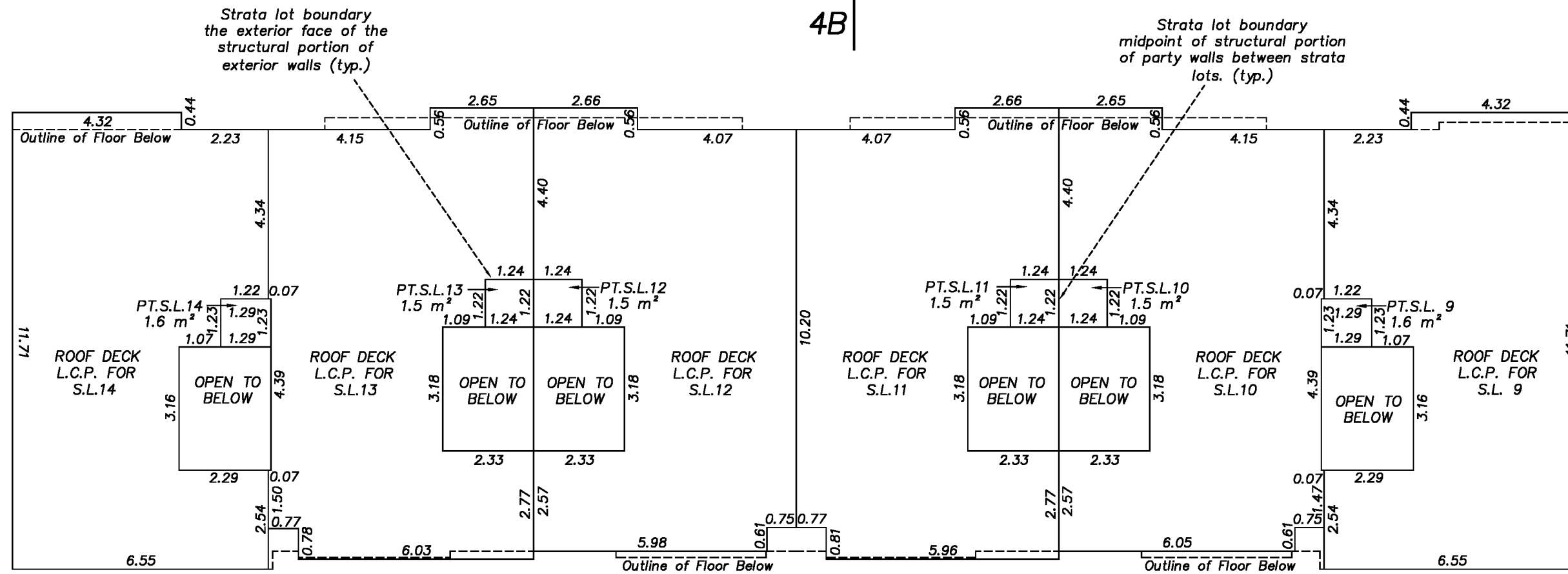


4A

4B

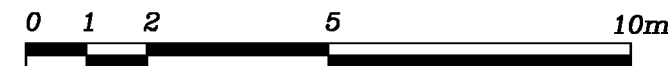
4A

4B



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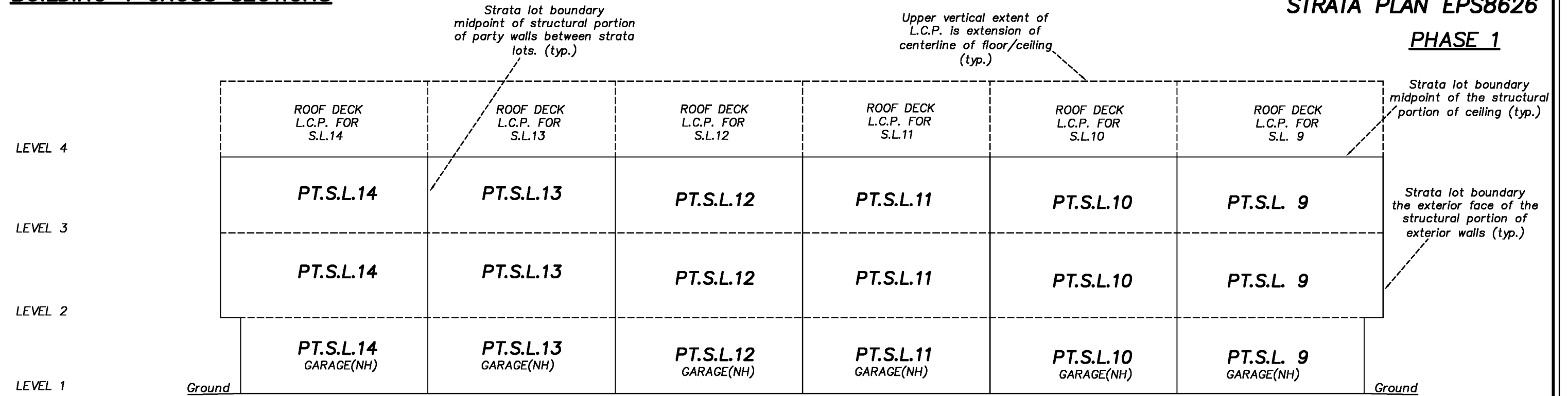
JOHNSON C. TAM, B.C.L.S.
 July 4th, 2022

BUILDING 4 CROSS SECTIONS

SHEET 17 OF 37 SHEETS

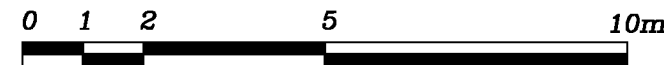
STRATA PLAN EPS8626

PHASE 1



CROSS SECTION 4A - 4A

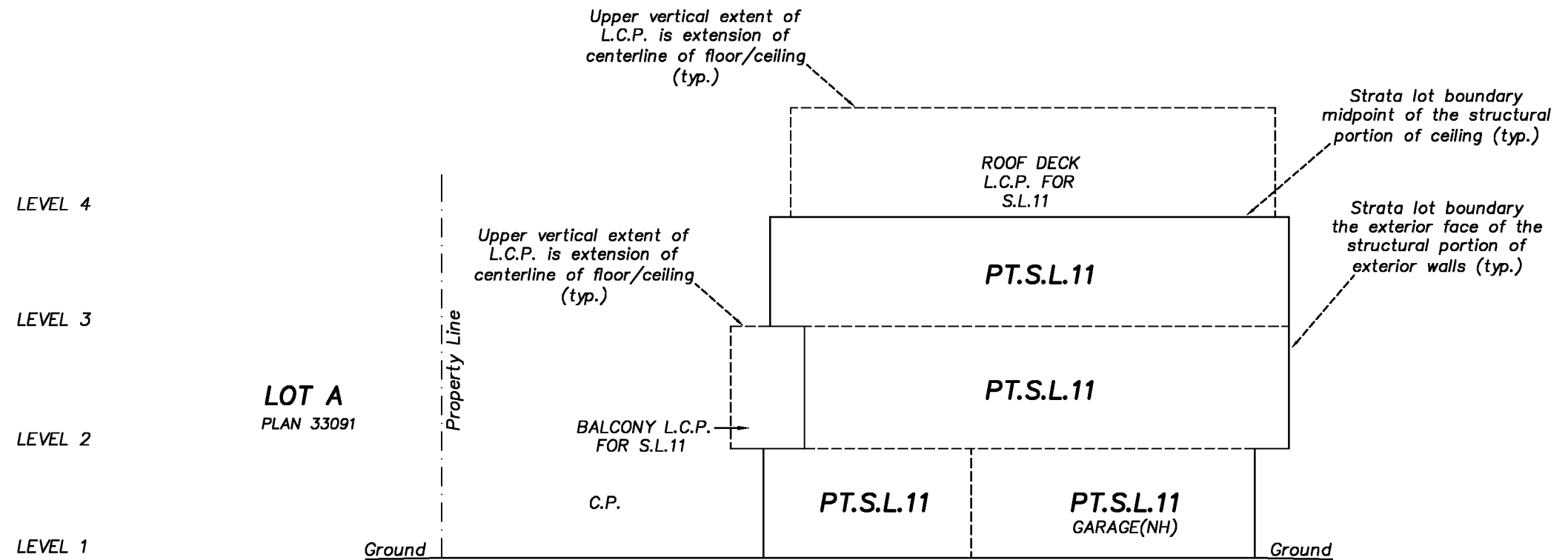
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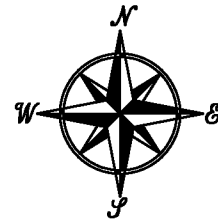
CROSS SECTION 4B - 4B

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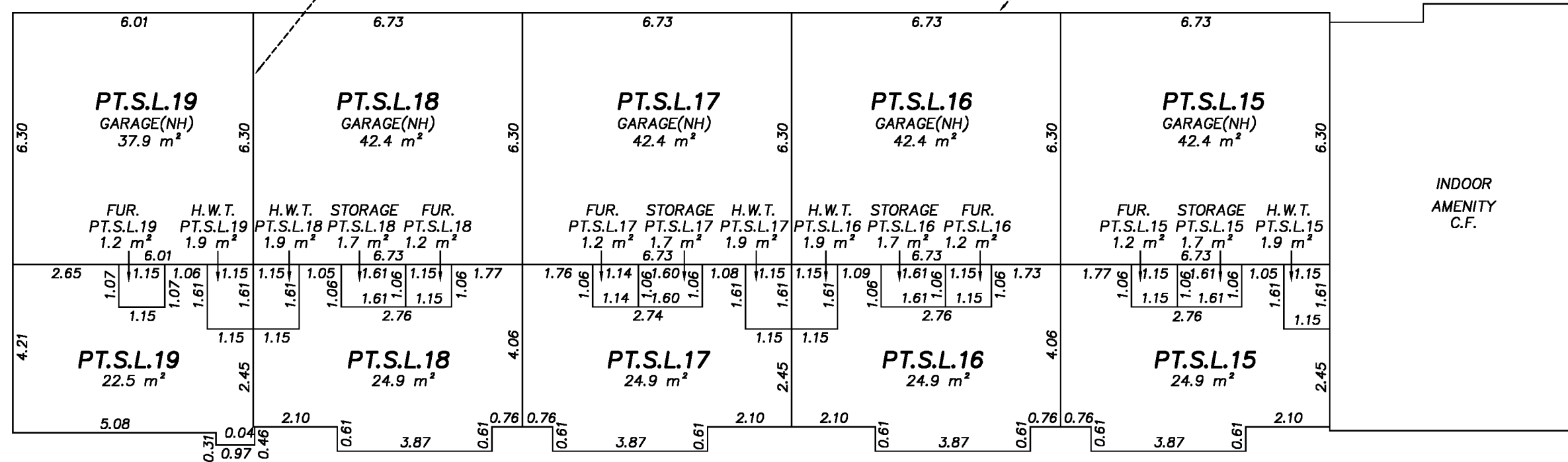
July 4th, 2022

BUILDING 5
PART STRATA LOTS 15 TO 19
LEVEL 1

SHEET 18 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



5A

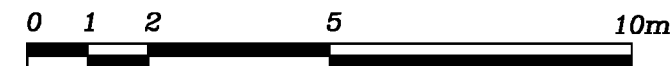


5A

5B

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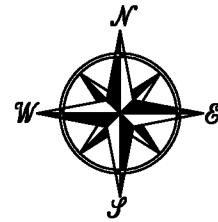
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BUILDING 5
PART STRATA LOTS 15 TO 19
LEVEL 2

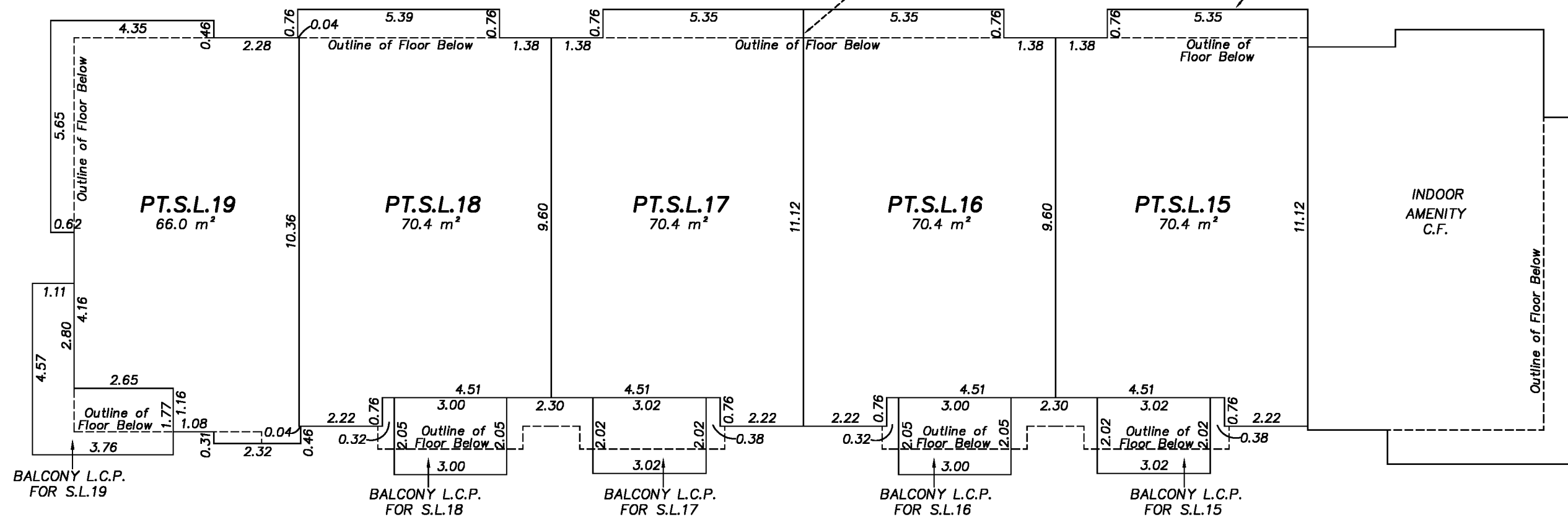
SHEET 19 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



5A

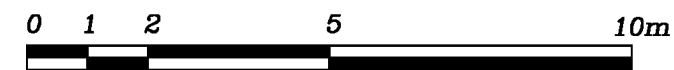
5B

5A



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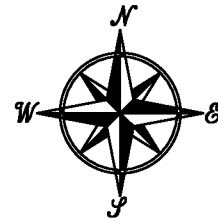
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BUILDING 5
PART STRATA LOTS 15 TO 19
LEVEL 3

SHEET 20 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

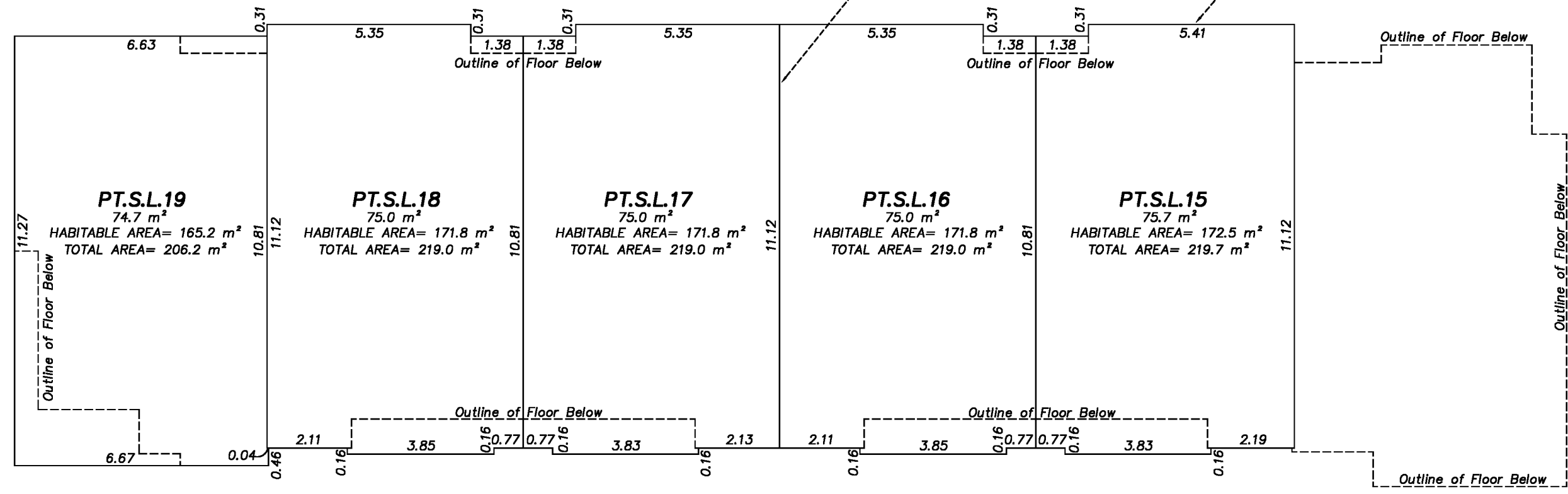


5A

5B

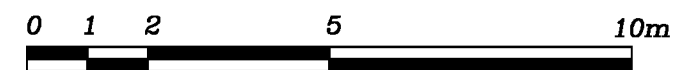
5A

5B



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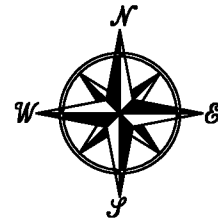
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July 4th, 2022

BUILDING 5
PART STRATA LOTS 15 TO 19
LEVEL 4

SHEET 21 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

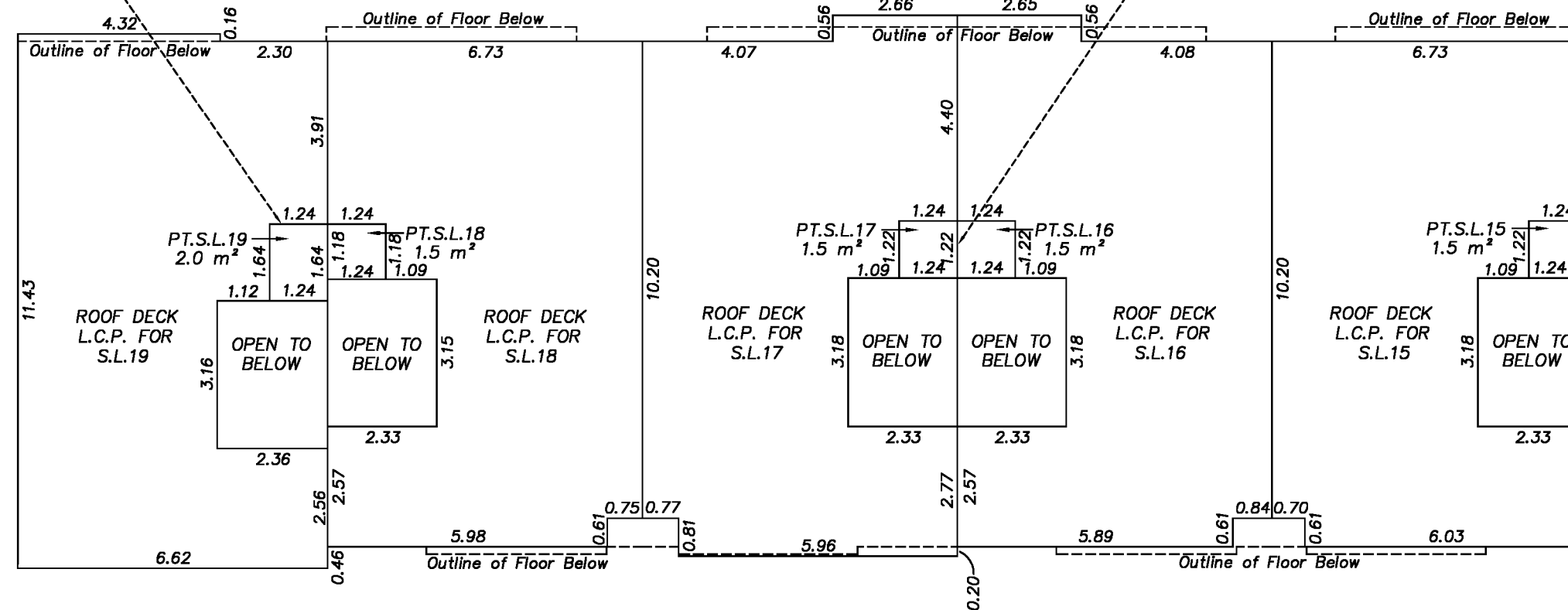


Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)

Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

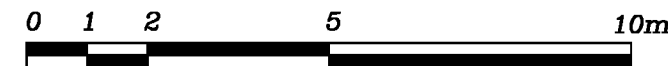
5A

5A



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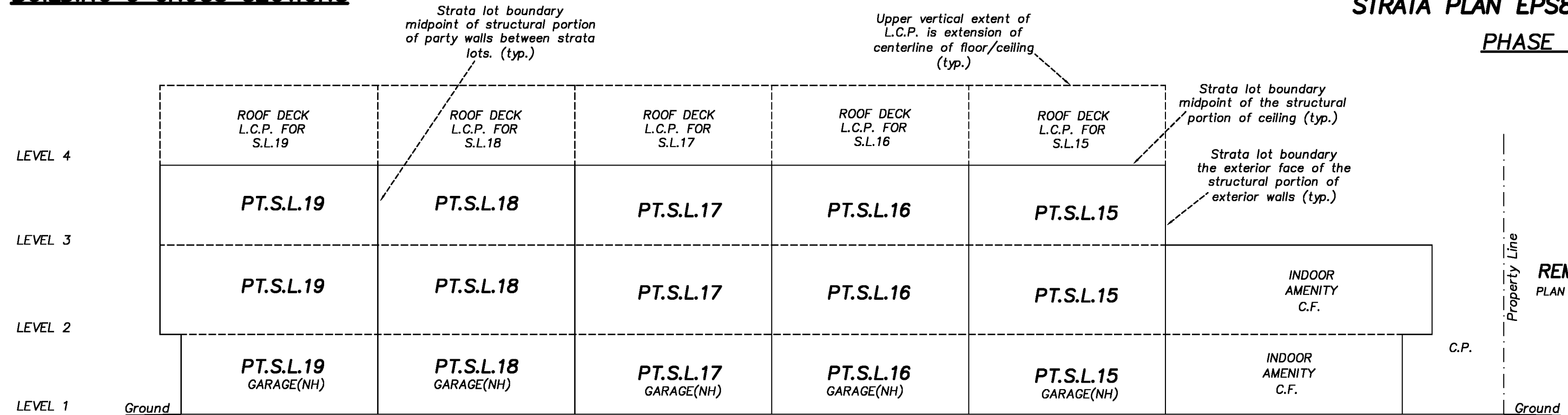
JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 5 CROSS SECTIONS

SHEET 22 OF 37 SHEETS

STRATA PLAN EPS8626

PHASE 1



REM.38
PLAN 76357

CROSS SECTION 5A - 5A

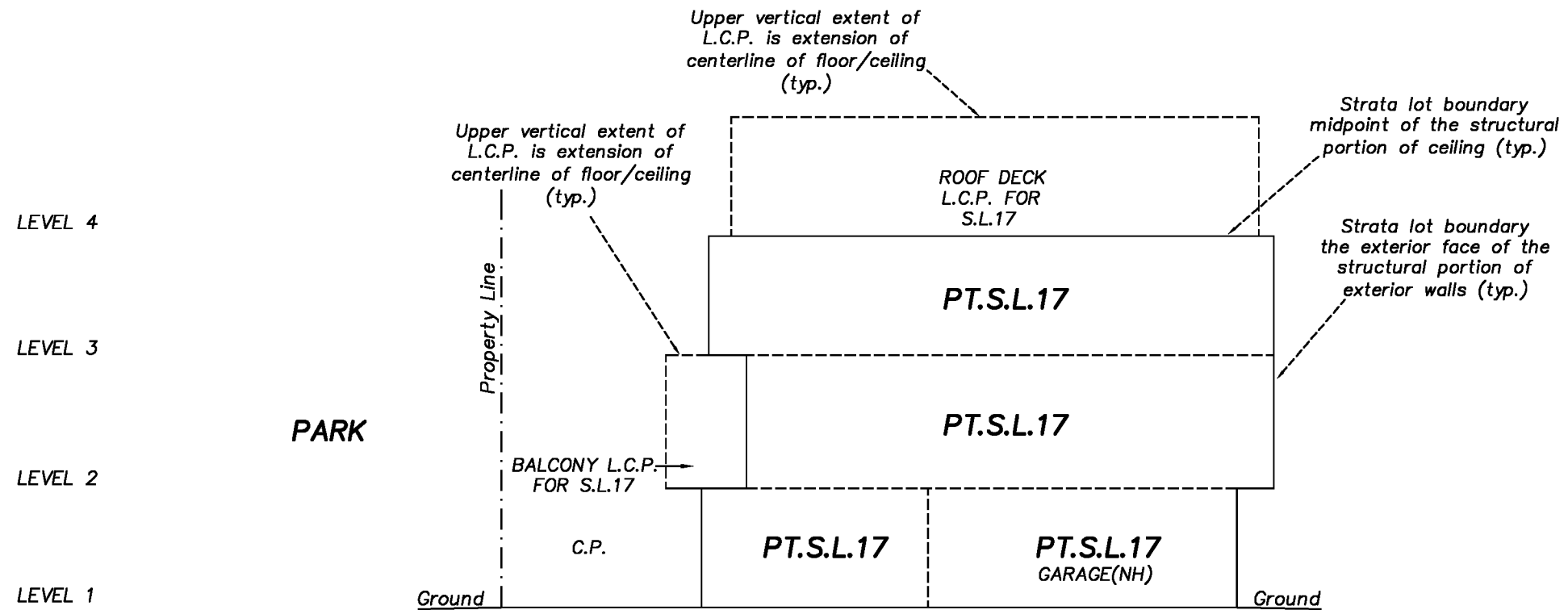
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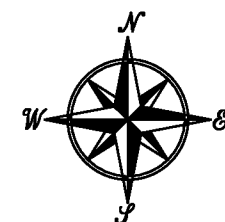


CROSS SECTION 5B - 5B

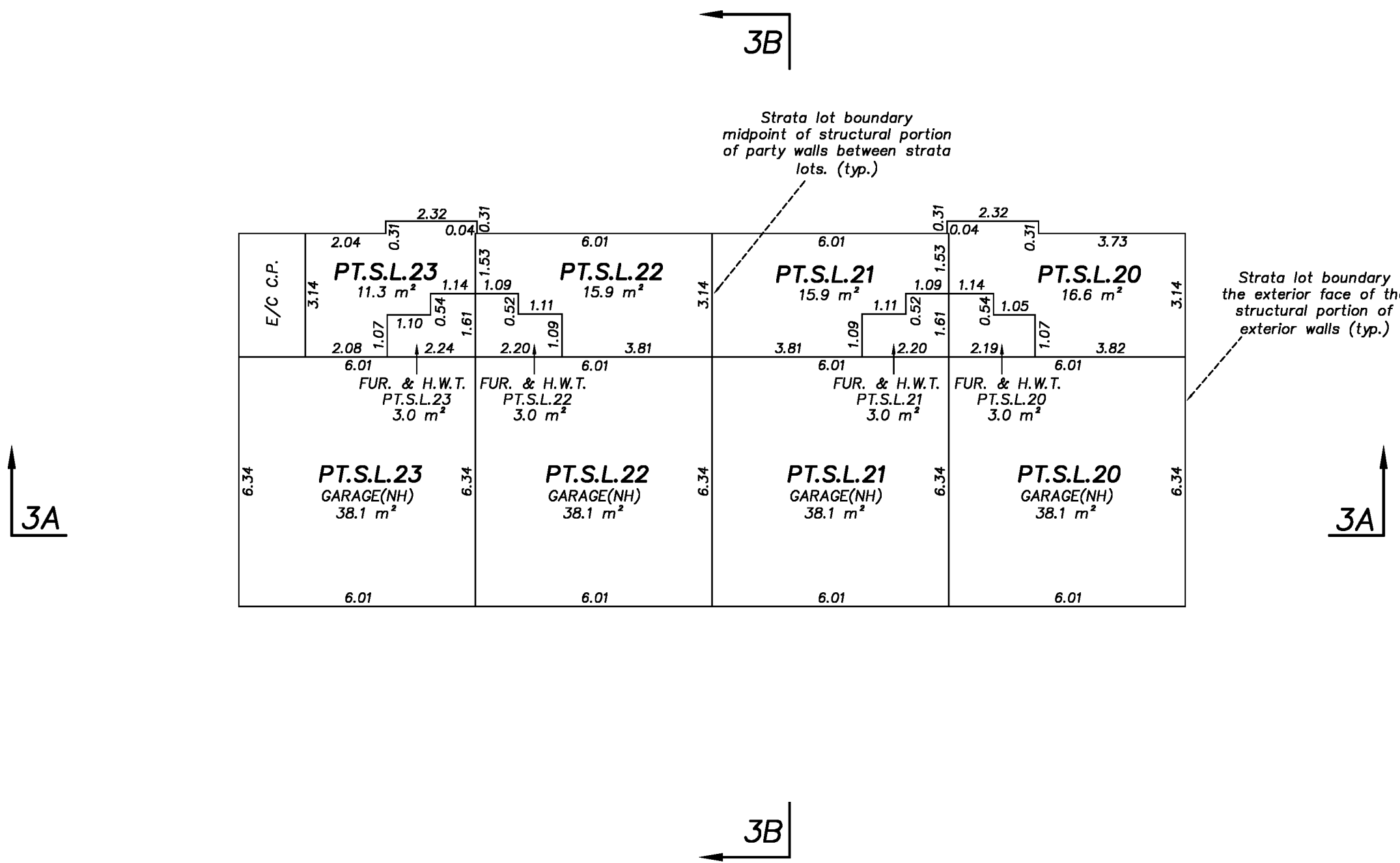
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BUILDING 3
PART STRATA LOTS 20 TO 23
LEVEL 1

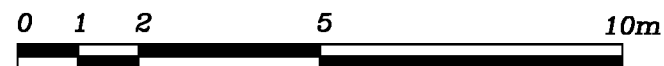


SHEET 23 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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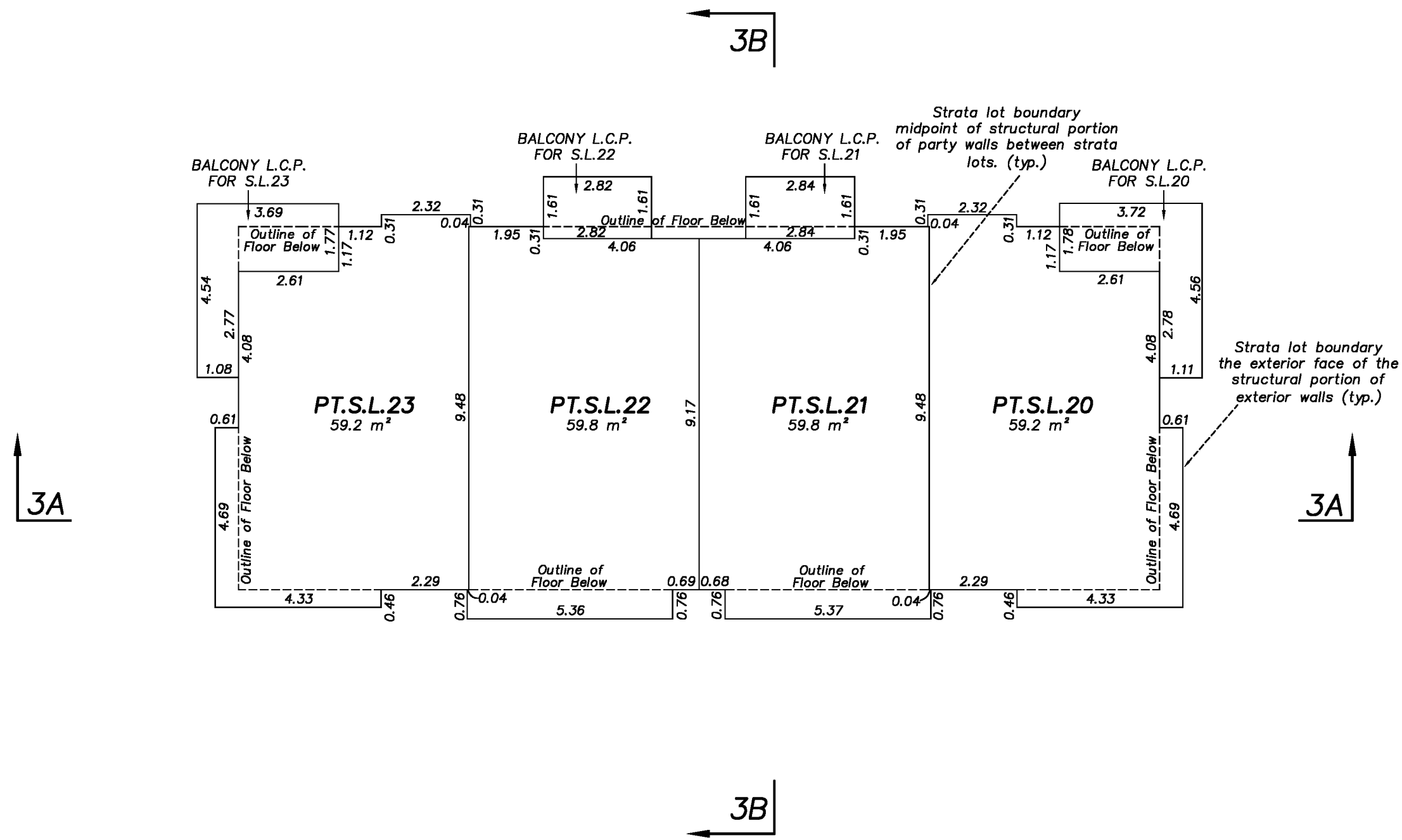
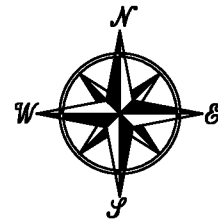
JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 3
PART STRATA LOTS 20 TO 23
LEVEL 2

SHEET 24 OF 37 SHEETS

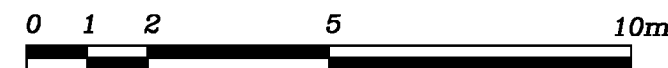
STRATA PLAN EPS8626

PHASE 1



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JOHNSON C. TAM, B.C.L.S.

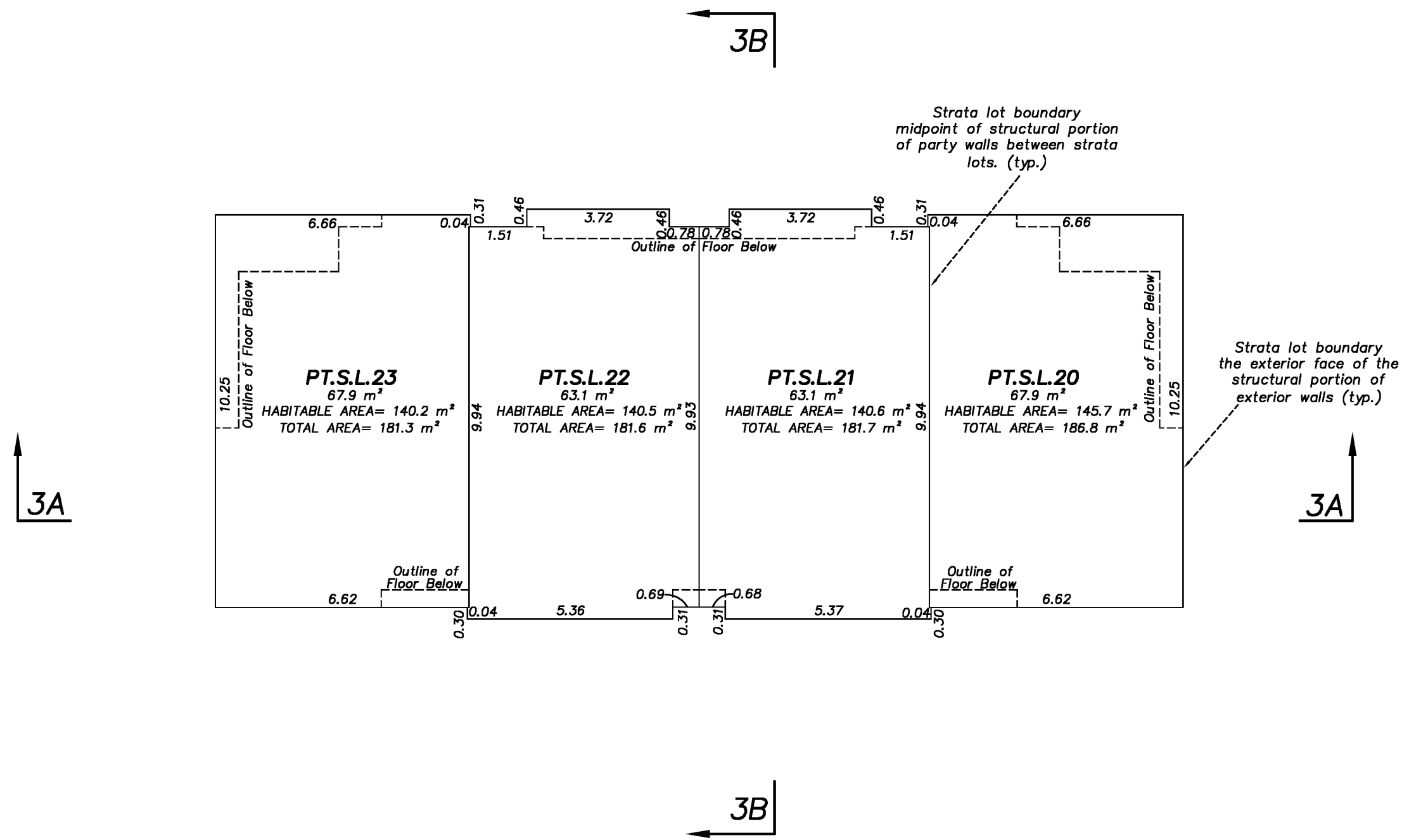
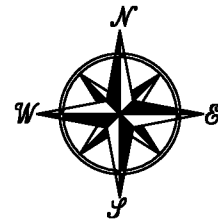
July 4th, 2022

BUILDING 3
PART STRATA LOTS 20 TO 23
LEVEL 3

SHEET 25 OF 37 SHEETS

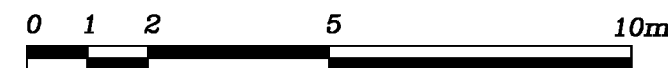
STRATA PLAN EPS8626

PHASE 1



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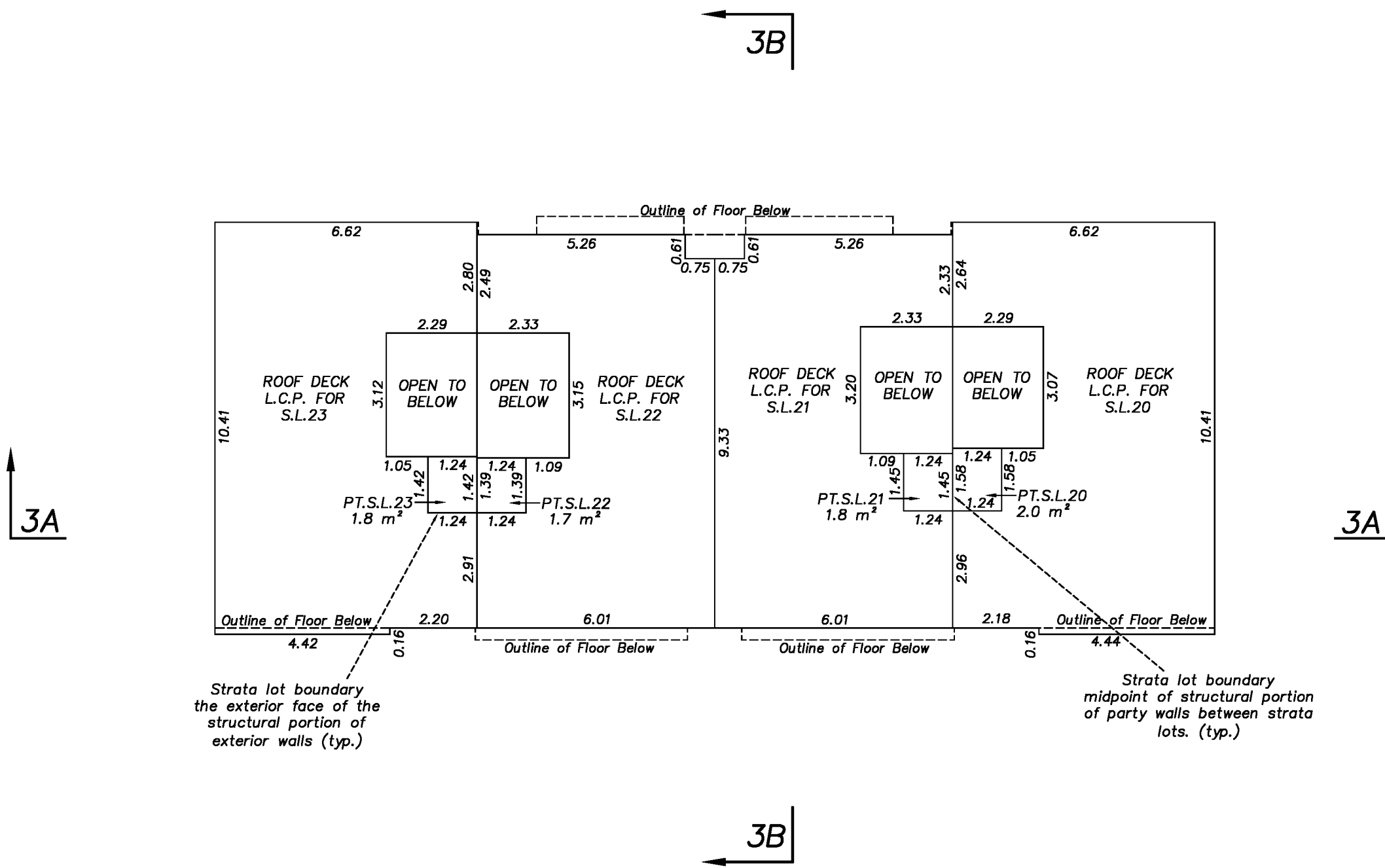
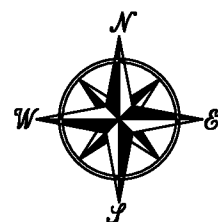
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JOHNSON C. TAM, B.C.L.S.

July 4th, 2022

BUILDING 3
PART STRATA LOTS 20 TO 23
LEVEL 4

SHEET 26 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

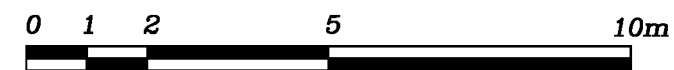


Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)

Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

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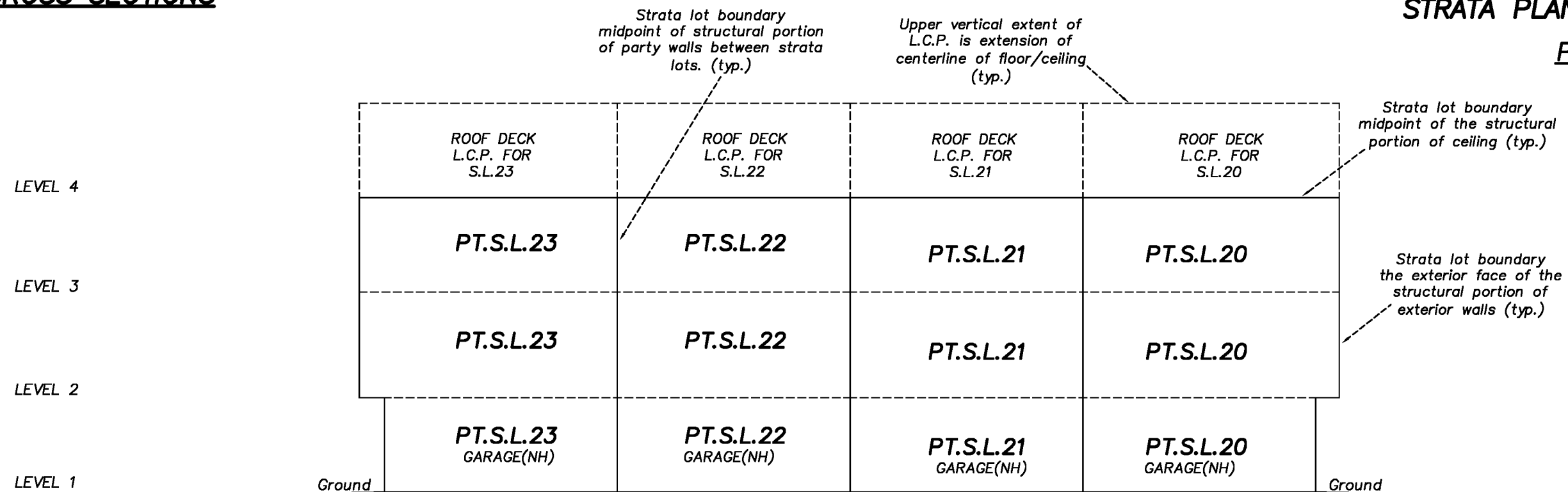
JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 3 CROSS SECTIONS

SHEET 27 OF 37 SHEETS

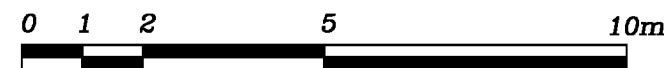
STRATA PLAN EPS8626

PHASE 1



CROSS SECTION 3A - 3A

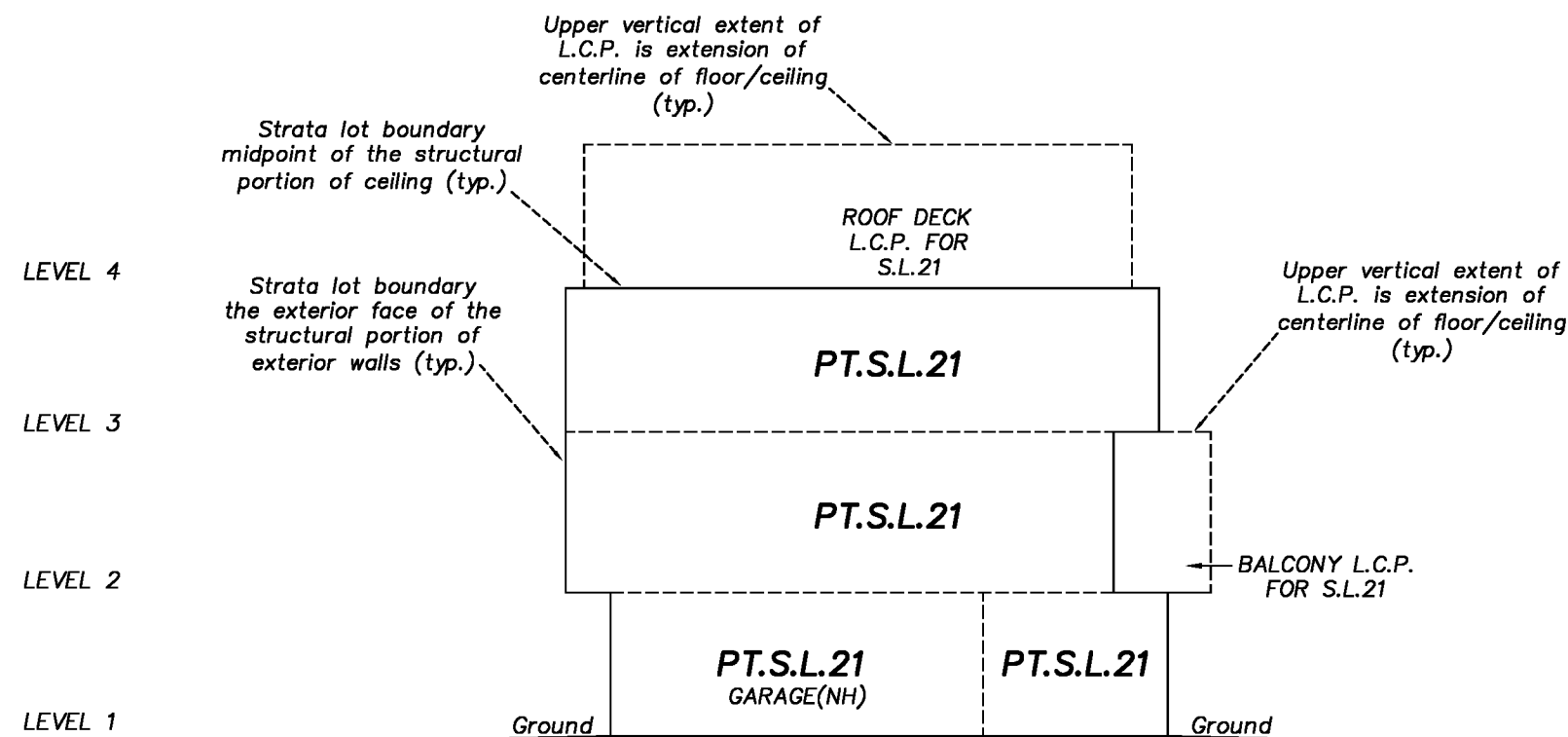
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CROSS SECTION 3B - 3B

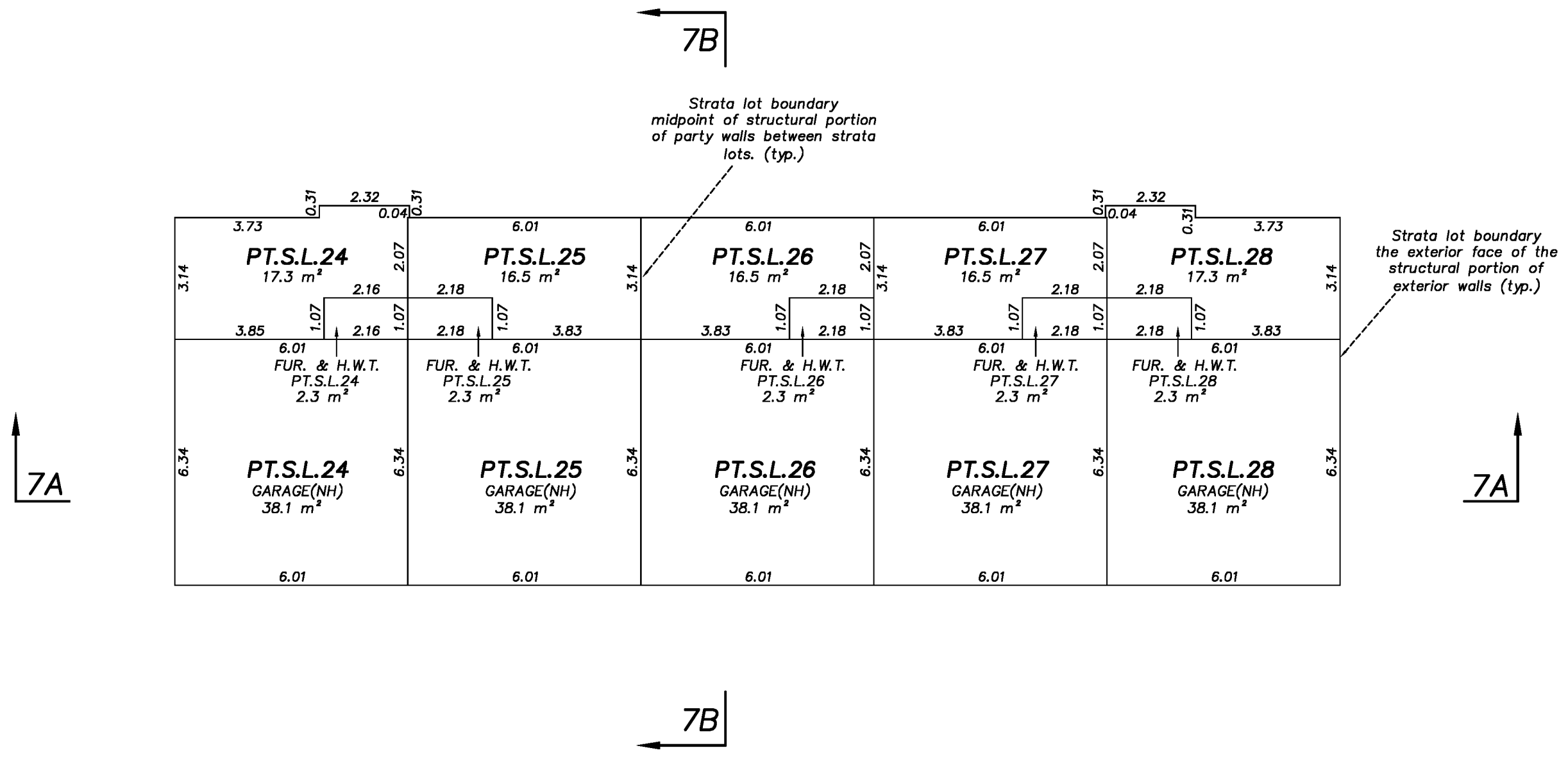
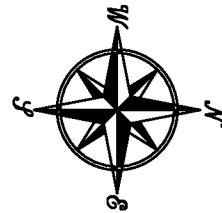
Strata lot boundary centerline of concrete slab (typ.)

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July 4th, 2022

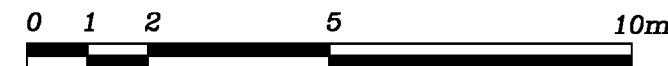
BUILDING 7
PART STRATA LOTS 24 TO 28
LEVEL 1

SHEET 28 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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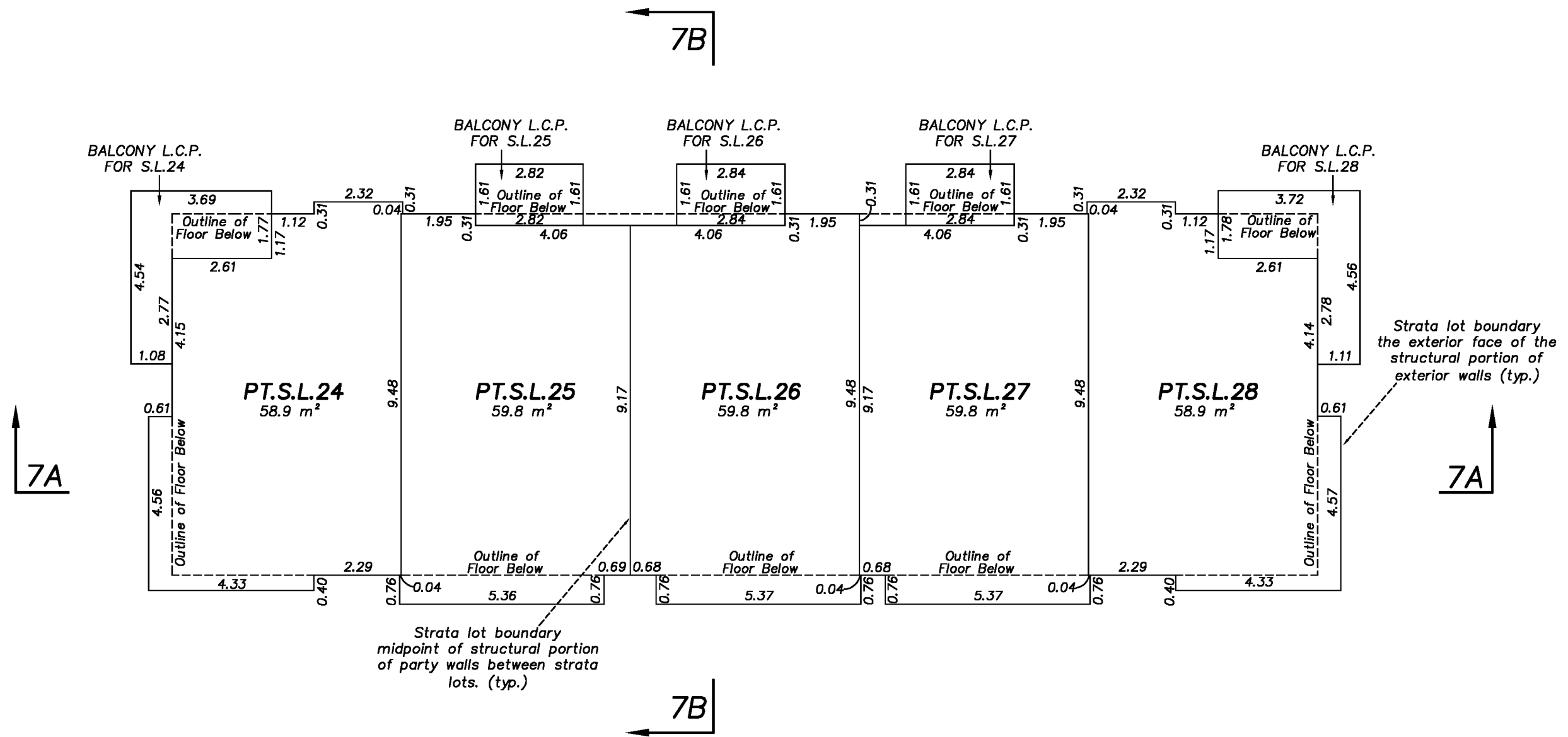
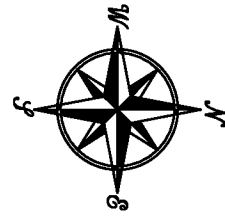
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July 4th, 2022

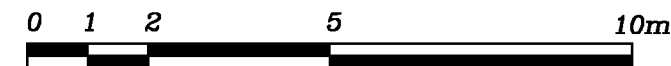
BUILDING 7
PART STRATA LOTS 24 TO 28
LEVEL 2

SHEET 29 OF 37 SHEETS
STRATA PLAN EPS8626
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File: 5103-FS-Ph1

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 125



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED

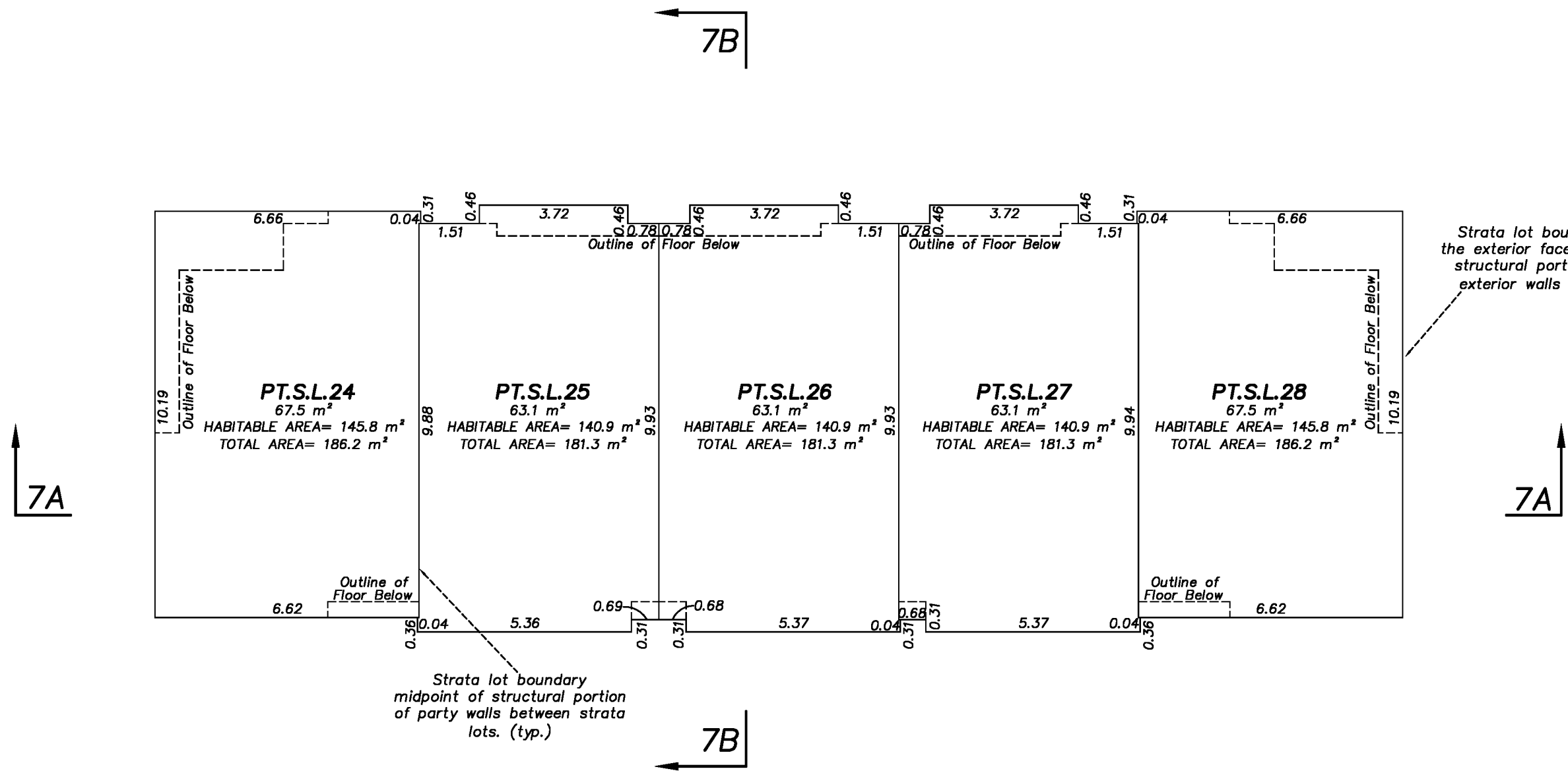
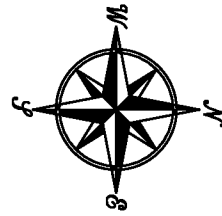
NOTE:
This sheet shows strata lot boundary dimensions to the exterior face of exterior structural walls and the midpoint between structural portions of party walls between strata lots.

Section arrows on this plan point in the direction of view.

JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

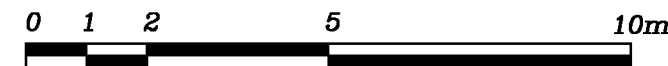
BUILDING 7
PART STRATA LOTS 24 TO 28
LEVEL 3

SHEET 30 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



J. C. Tam and Associates
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Fax: 214-8929
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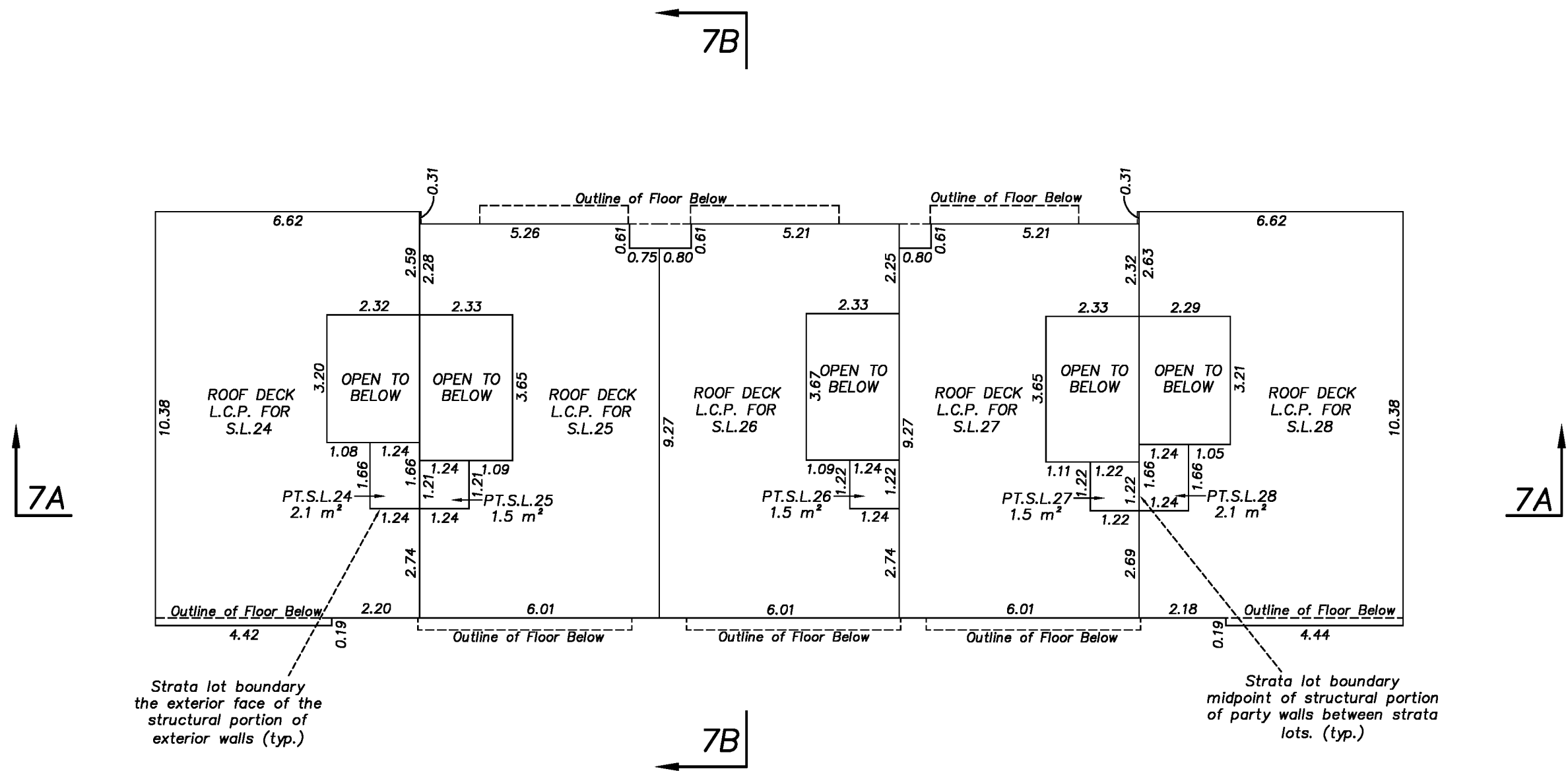
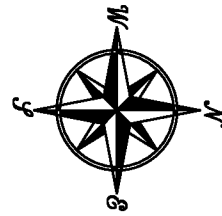
NOTE:
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Section arrows on this plan point in the direction of view.

JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 7
PART STRATA LOTS 24 TO 28
LEVEL 4

SHEET 31 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



Strata lot boundary the exterior face of the structural portion of exterior walls (typ.)

Strata lot boundary midpoint of structural portion of party walls between strata lots. (typ.)

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NOTE:
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Section arrows on this plan point in the direction of view.

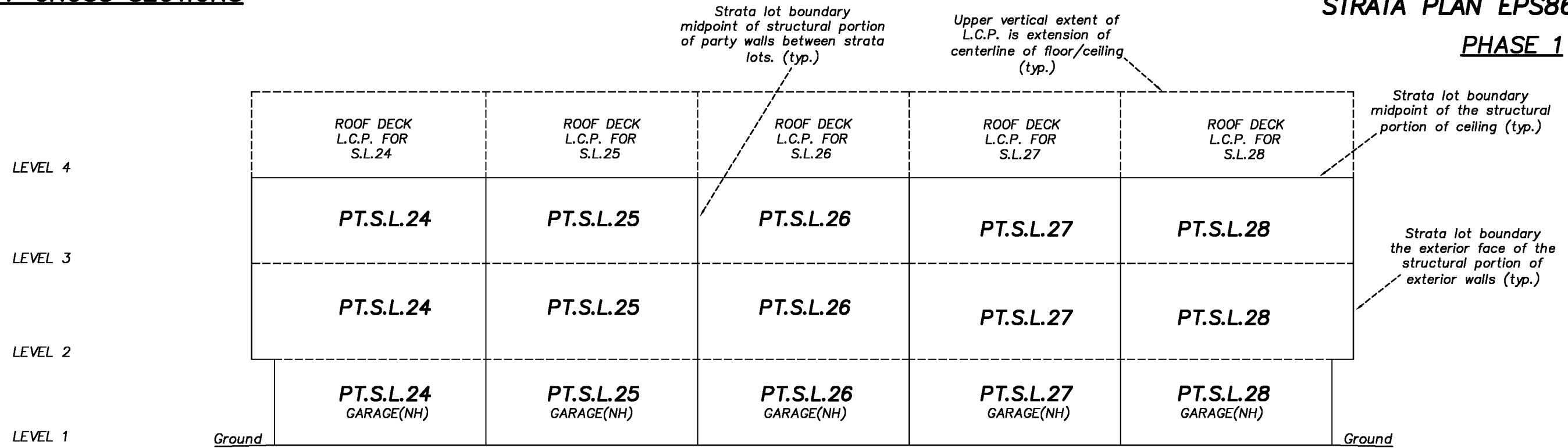
JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 7 CROSS SECTIONS

SHEET 32 OF 37 SHEETS

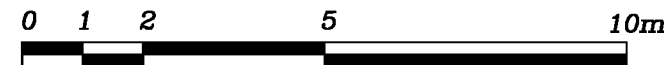
STRATA PLAN EPS8626

PHASE 1



CROSS SECTION 7A - 7A

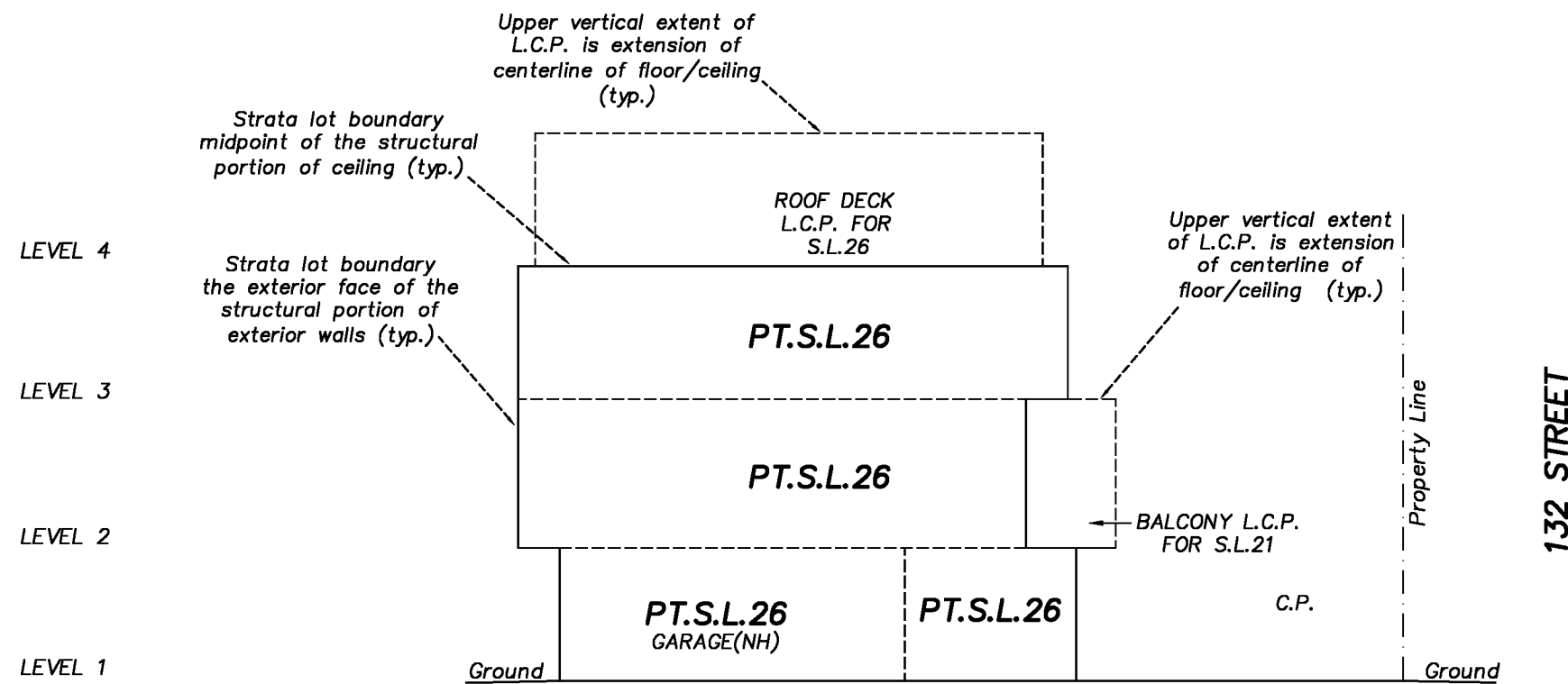
The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 125



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NOTE: This sheet shows strata lot boundary dimensions to the exterior face of exterior structural walls and the midpoint between structural portions of party walls between strata lots.

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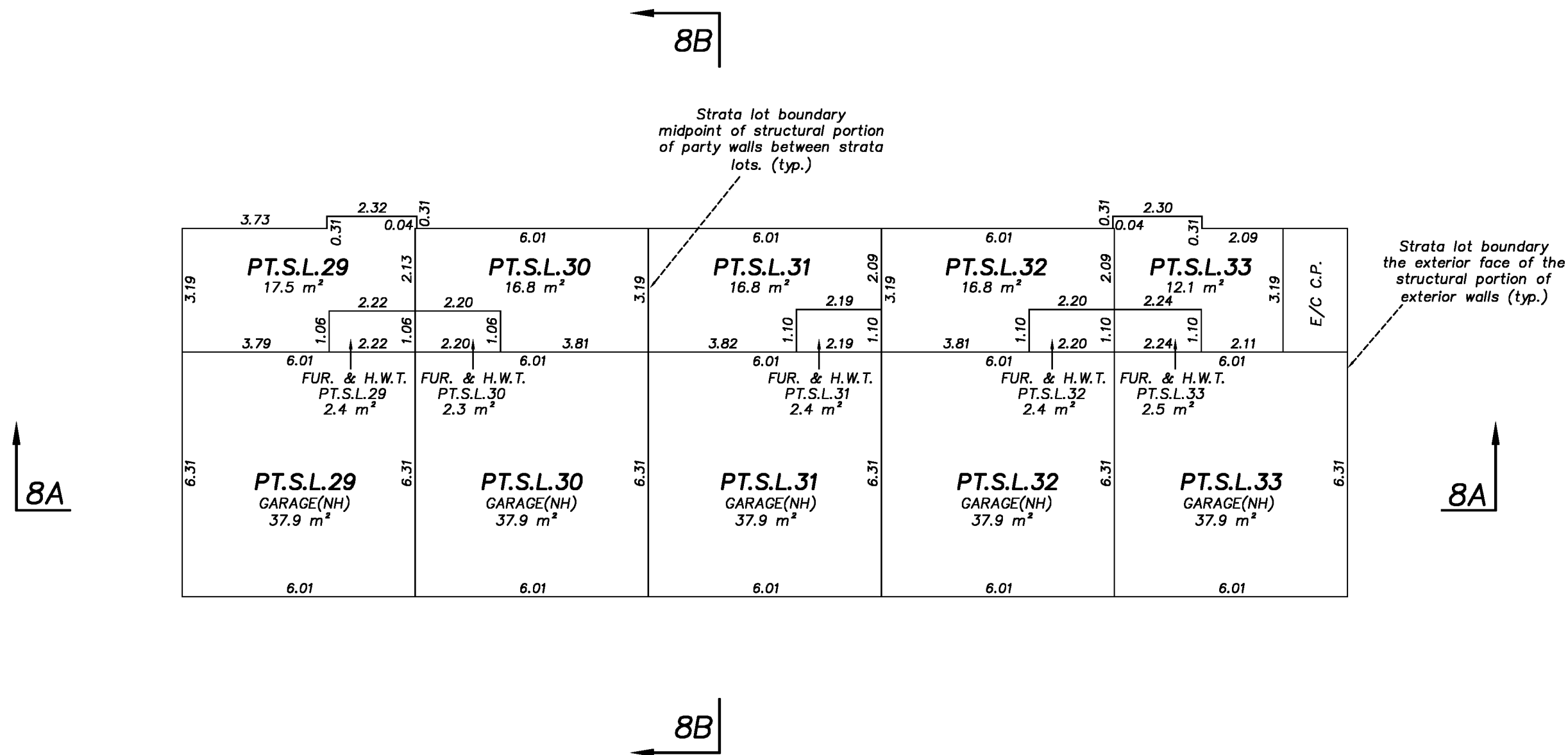
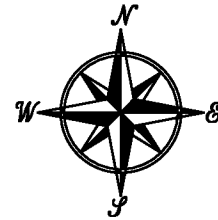
CROSS SECTION 7B - 7B

JOHNSON C. TAM, B.C.L.S.

July 4th, 2022

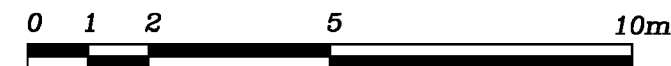
BUILDING 8
PART STRATA LOTS 29 TO 33
LEVEL 1

SHEET 33 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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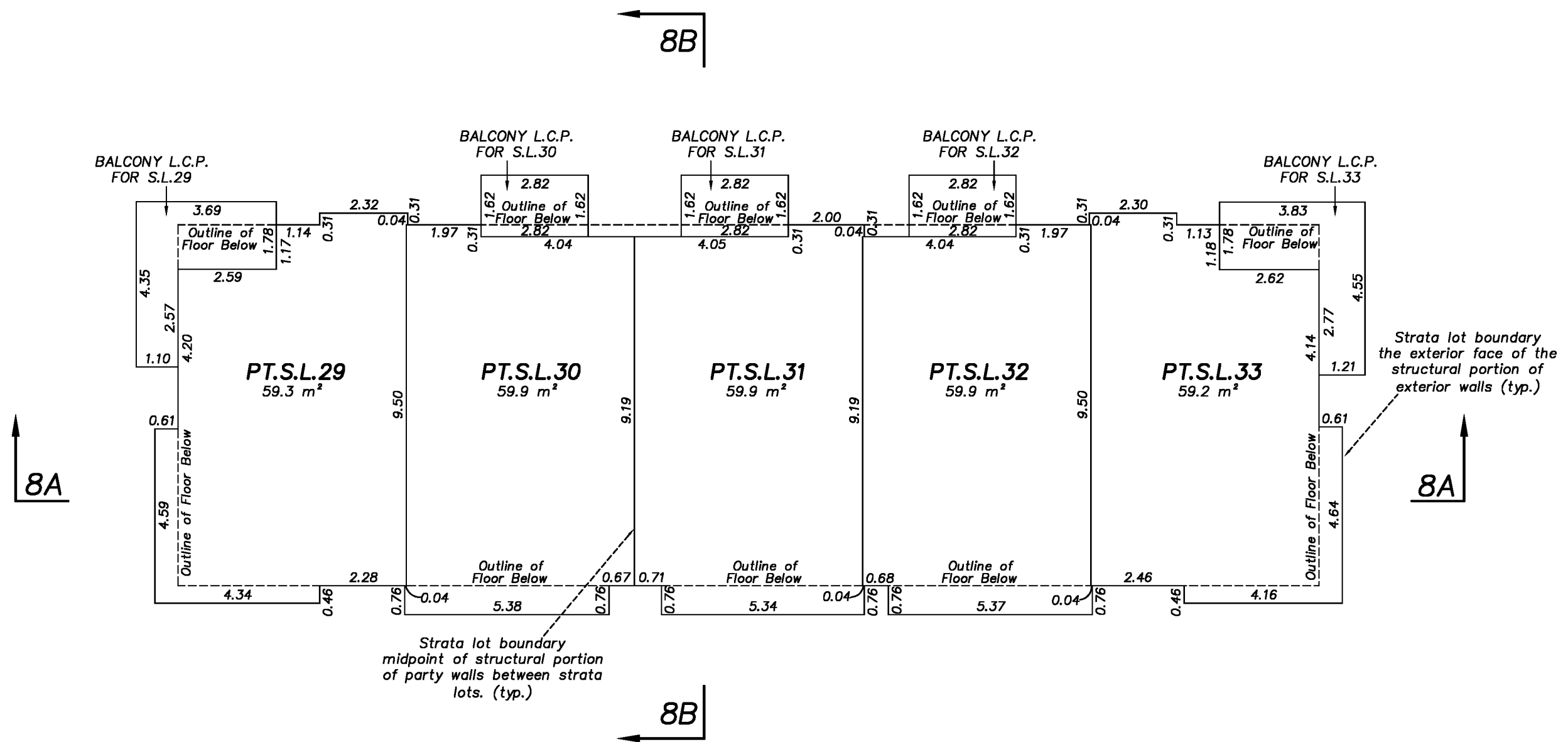
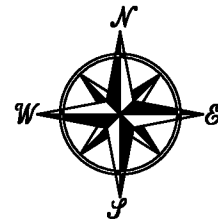
NOTE:
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Section arrows on this plan point in the direction of view.

JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

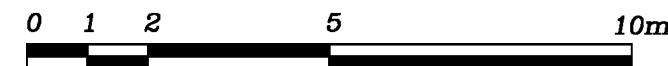
BUILDING 8
PART STRATA LOTS 29 TO 33
LEVEL 2

SHEET 34 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1



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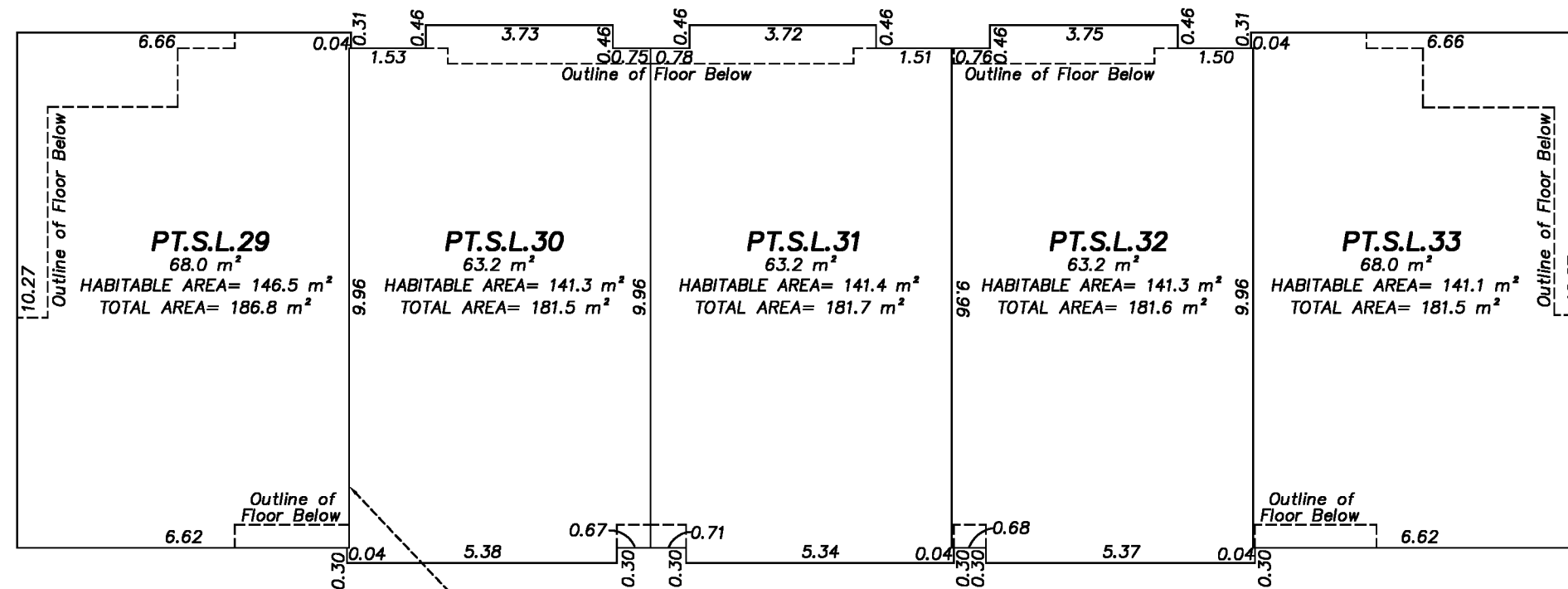
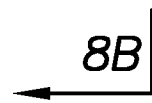
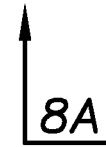
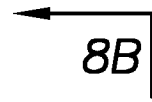
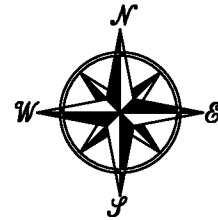
NOTE:
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JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 8
PART STRATA LOTS 29 TO 33
LEVEL 3

SHEET 35 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

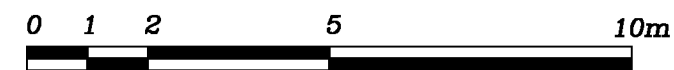


Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)

Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

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THEREOF UNLESS OTHERWISE INDICATED**

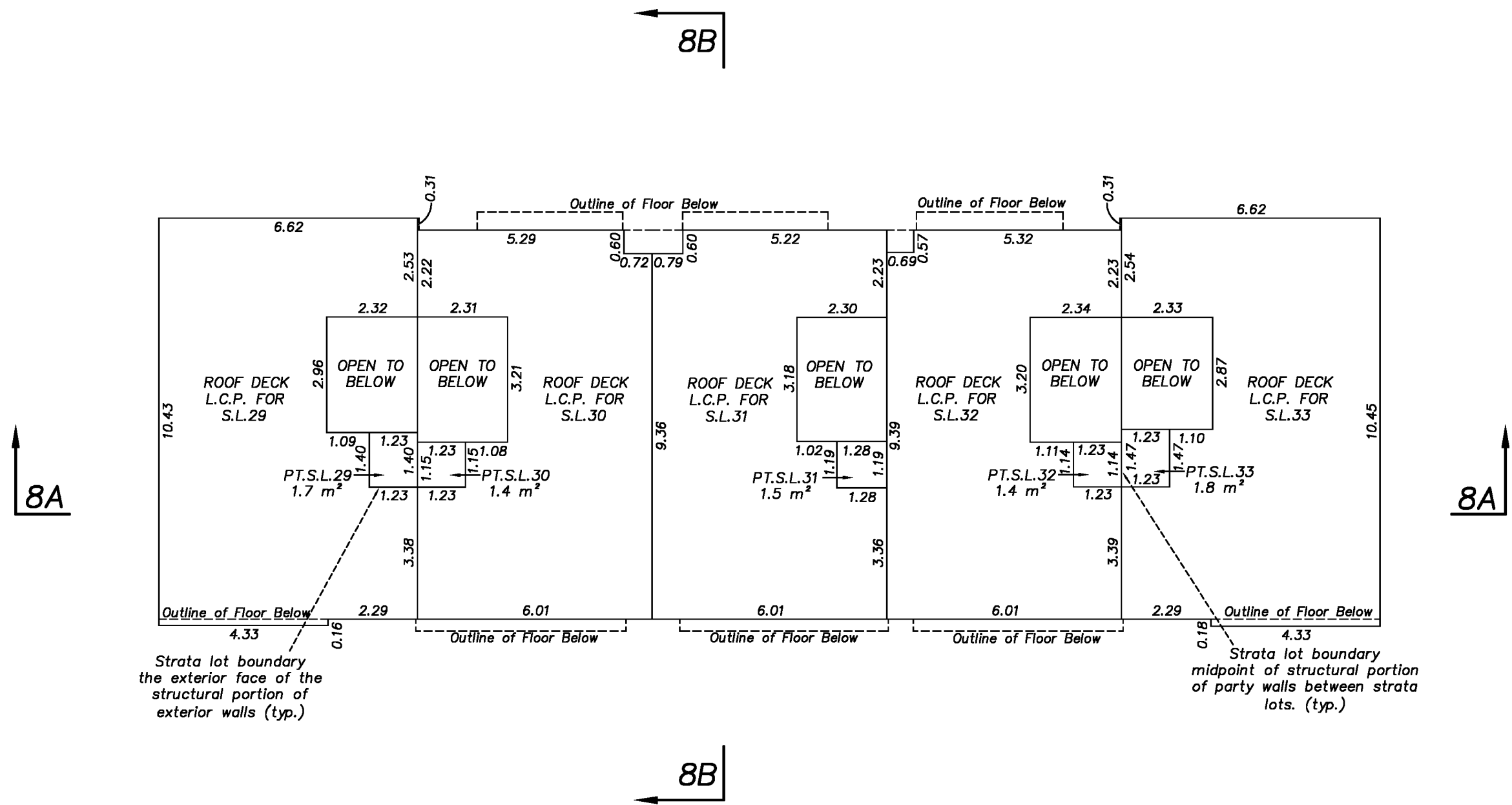
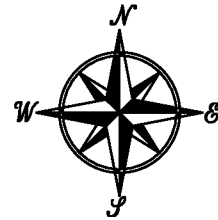
NOTE:
This sheet shows strata lot boundary
dimensions to the exterior face of exterior
structural walls and the midpoint between
structural portions of party walls between
strata lots.

Section arrows on this plan point in the
direction of view.

JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 8
PART STRATA LOTS 29 TO 33
LEVEL 4

SHEET 36 OF 37 SHEETS
STRATA PLAN EPS8626
PHASE 1

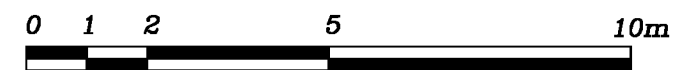


Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)

Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

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Section arrows on this plan point in the direction of view.

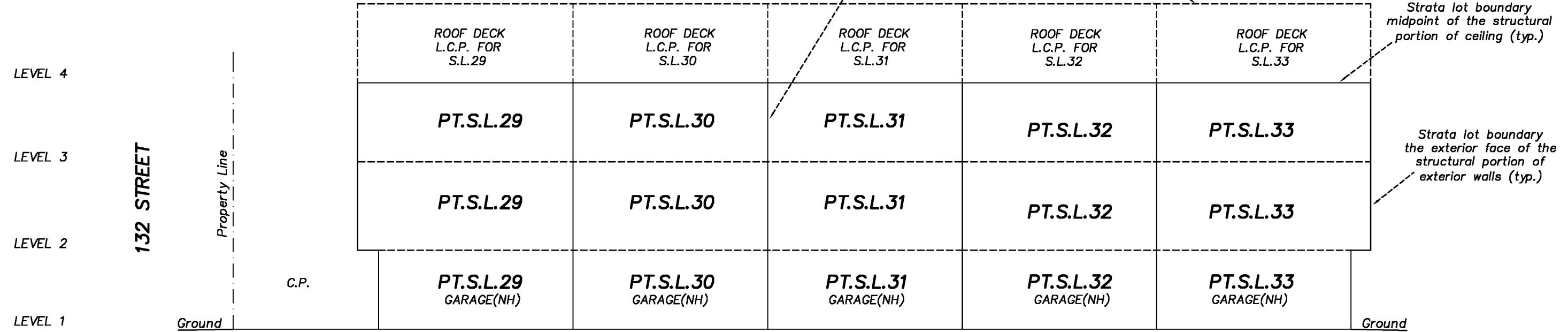
JOHNSON C. TAM, B.C.L.S.
July 4th, 2022

BUILDING 8 CROSS SECTIONS

SHEET 37 OF 37 SHEETS

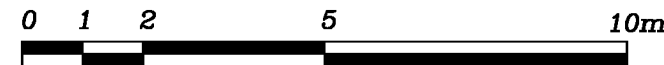
STRATA PLAN EPS8626

PHASE 1



CROSS SECTION 8A - 8A

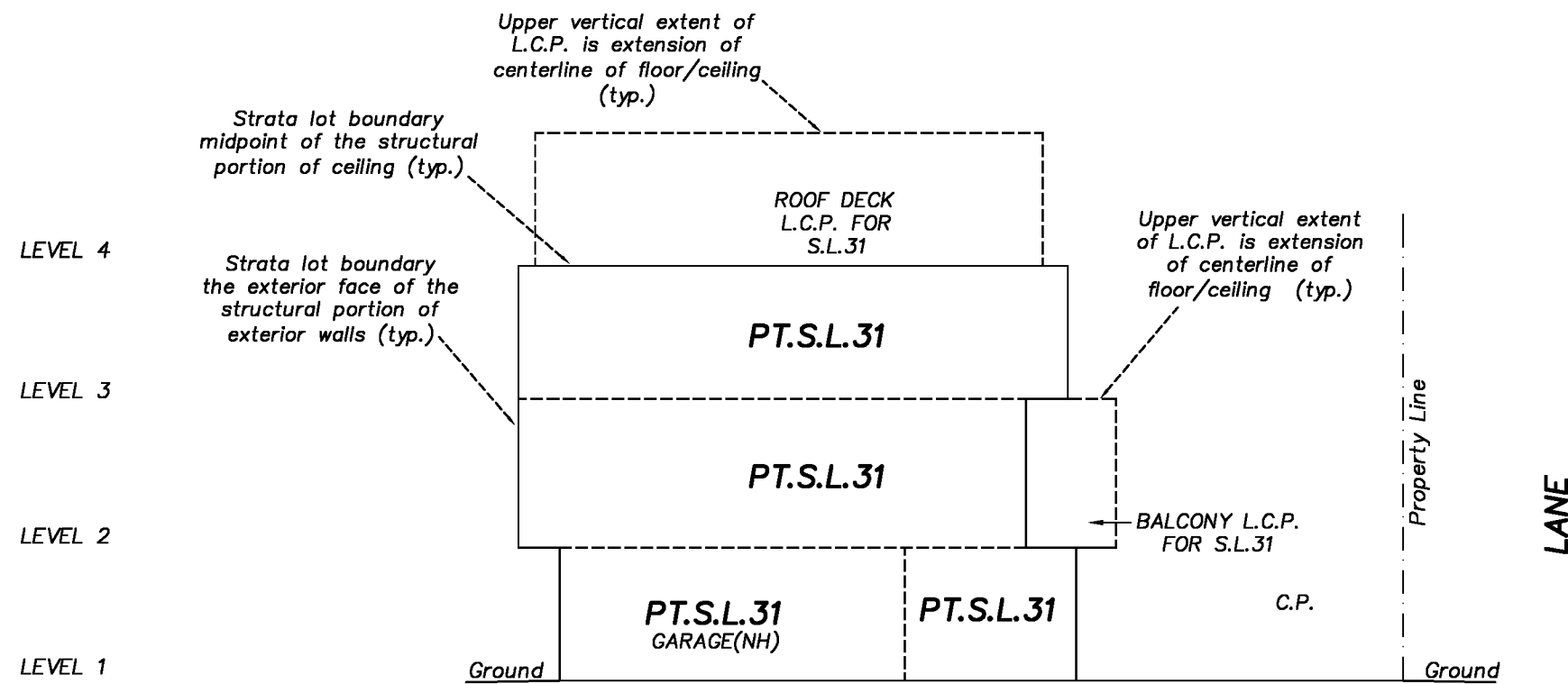
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NOTE: This sheet shows strata lot boundary dimensions to the exterior face of exterior structural walls and the midpoint between structural portions of party walls between strata lots.

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CROSS SECTION 8B - 8B

JOHNSON C. TAM, B.C.L.S.

July 4th, 2022

STRATA PLAN OF LOT 1 SECTION 8 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN EPP48816 EXCEPT STRATA PLAN EPS8626 (PHASE ONE)

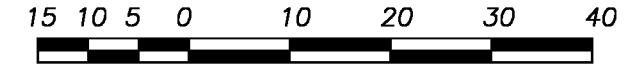
SHEET 1 OF 7 SHEETS

STRATA PLAN EPS8626 PHASE 2

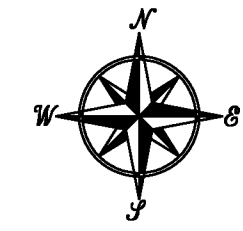
B.C.G.S. 92G.016
CITY OF SURREY
#5858 132nd STREET,
SURREY, B.C.
P.I.D 031-189-008

UTM ZONE 10 Coordinates
DATUM: NAD83 (CSRS) 4.0.0.BC.1.GVRD
NORTHING: 5439904.759 m
EASTING: 510461.105 m
Combined Scale Factor: 0.9995892
ABSOLUTE ACCURACY: 0.010 m

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 750

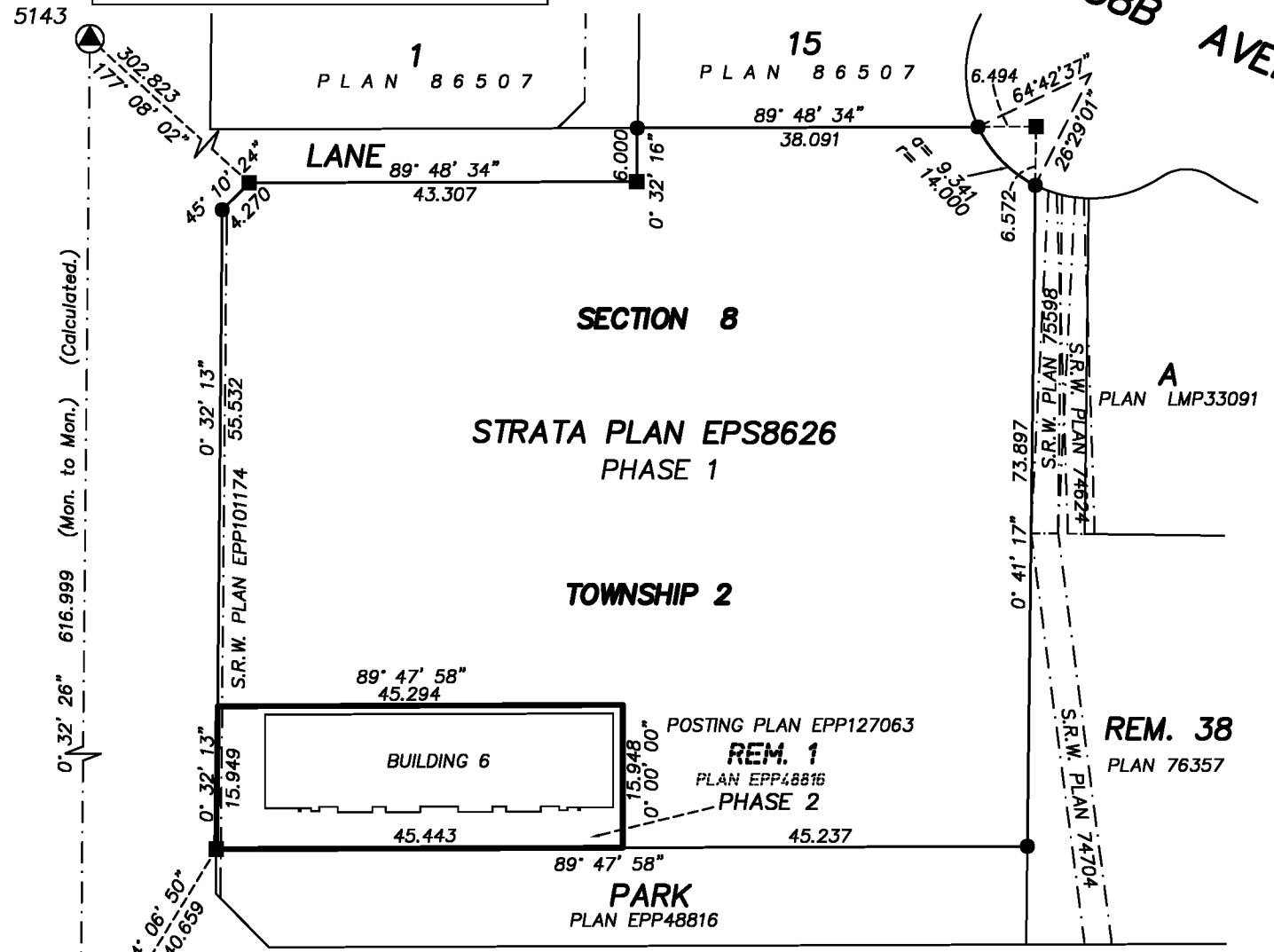


ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED



132nd STREET

58B AVENUE



- LEGEND:**
- ⊙ Control Monument Found
 - Iron post Found
 - Lead Plug Found
 - L.C.P. denotes limited common property
 - PT.S.L. denotes part strata lot
 - S.L. denotes strata lot
 - C.P. denotes common property
 - H.W.T. denotes hot water tank enclosure (NH)
 - FUR. denotes furnace enclosure (NH)
 - STORAGE denotes storage room (NH)
 - C.F. denotes common facility
 - E/C denotes electrical closet
 - typ. denotes typical
 - NH denotes Non habitable area

NOTE:
Balcony and roof deck areas are defined as to height by the center of the floor above or its extensions, or where there is no floor above by the average height of strata lots within the same building, unless otherwise noted.

The buildings included in this strata plan have not been previously occupied.
The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 5143 and 5923.

Integrated Survey Area No. 1 (SURREY), NAD83(CSRS) 4.0.0.BC.1.MVRD. Grid bearings are derived from observations between geodetic control monuments 5143 and 5923.

This plan shows horizontal ground level distance except where otherwise noted. To compute grid distance, multiply ground-level distance by the average combined factor of 0.99959065 which has been derived from 5143 and 5923.

This plan lies within the City of Surrey.
This plan lies within the Metro Vancouver Regional District.

This Plan is Phase 2 of a 2 phase strata plan under section 224 of the Strata property Act lying within the jurisdiction of the Approving Officer for City of Surrey.

The field survey represented by this plan was completed on the 27th day of March, 2023.
Johnson C. Tam, B.C.L.S 711.

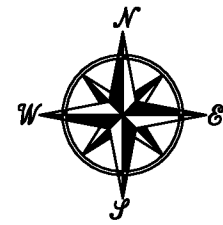
HIGHWAY NO. 10

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Telephone: 214-8928
Fax: 214-8929
E-mail: office@jctam.com
Website: www.jctam.com
File: 5103-FS-P2

UTM ZONE 10 Coordinates
DATUM: NAD83 (CSRS) 4.0.0.BC.1.GVRD
NORTHING: 5439288.037 m
EASTING: 510455.286 m
Combined Scale Factor: 0.9995921
ABSOLUTE ACCURACY: 0.010 m

Strata lot boundaries in this strata plan are defined as follows:
Exterior face of exterior structural walls.
Centerline of demising walls between strata lots.

BUILDING FOUNDATION



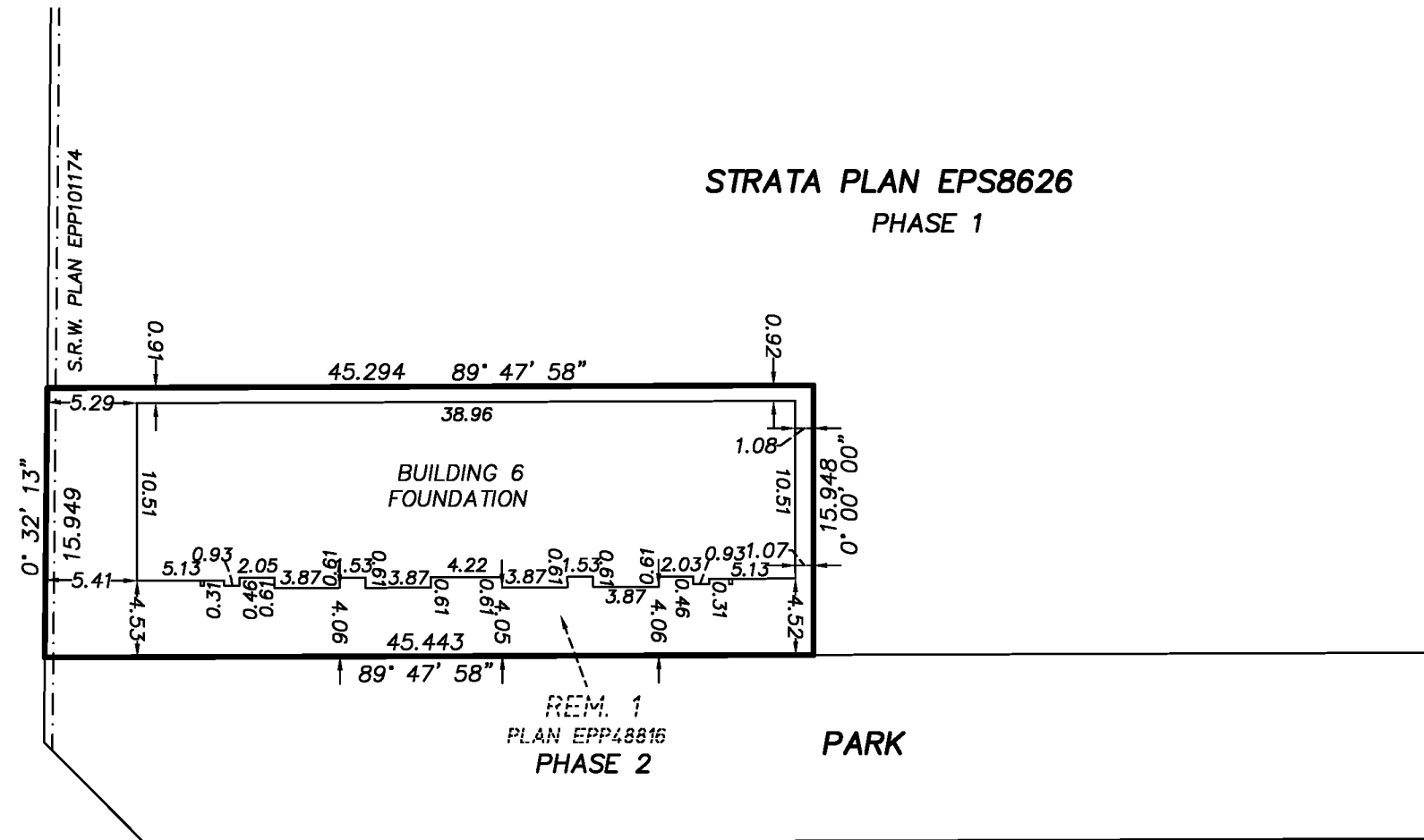
The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 400



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED

NOTE:
Dimensions are shown to exterior of concrete foundations except where otherwise noted.

132 STREET



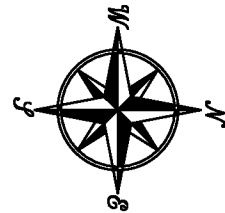
SHEET 2 OF 7 SHEETS
STRATA PLAN EPS8626
PHASE 2

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Website: www.jctam.com
File No. 5103-FS-P2

JOHNSON C. TAM, B.C.L.S.
March 27th, 2023

BUILDING 6
PART STRATA LOTS 34 TO 39
LEVEL 1

SHEET 3 OF 7 SHEETS
STRATA PLAN EPS8626
PHASE 2



6A

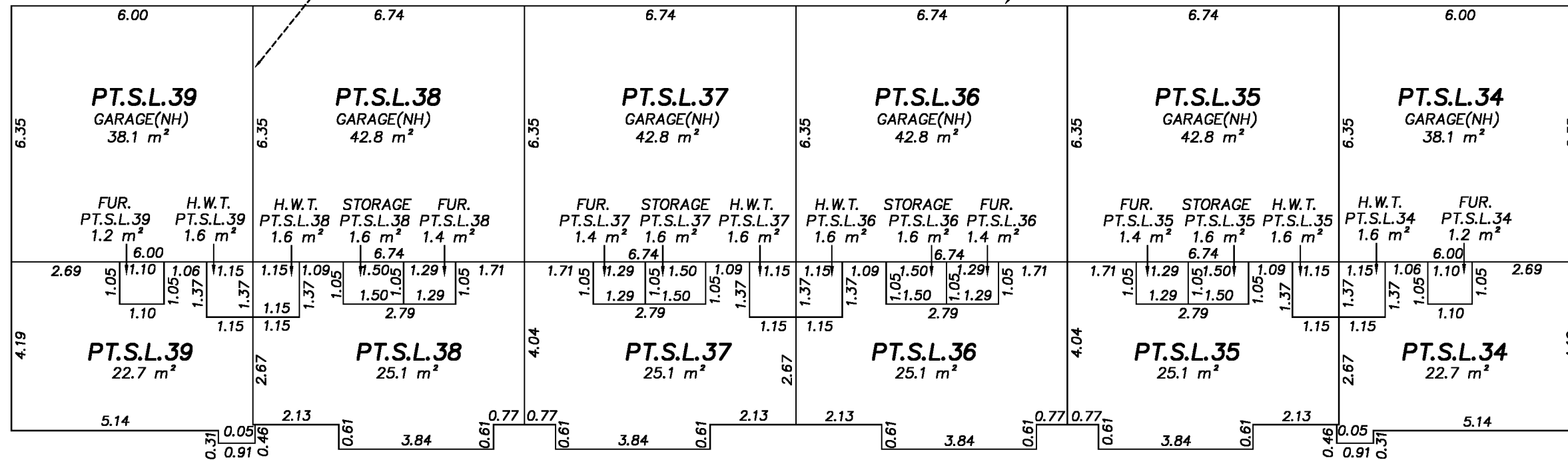
6A

6B

6B

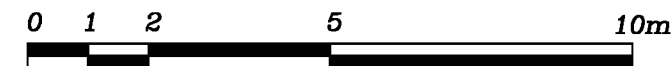
Strata lot boundary
midpoint of structural portion
of party walls between strata
lots. (typ.)

Strata lot boundary
the exterior face of the
structural portion of
exterior walls (typ.)



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NOTE:

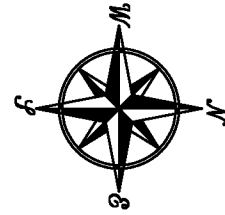
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structural portions of party walls between
strata lots.

Section arrows on this plan point in the
direction of view.

JOHNSON C. TAM, B.C.L.S.
March 27th, 2023

BUILDING 6
PART STRATA LOTS 34 TO 39
LEVEL 2

SHEET 4 OF 7 SHEETS
STRATA PLAN EPS8626
PHASE 2

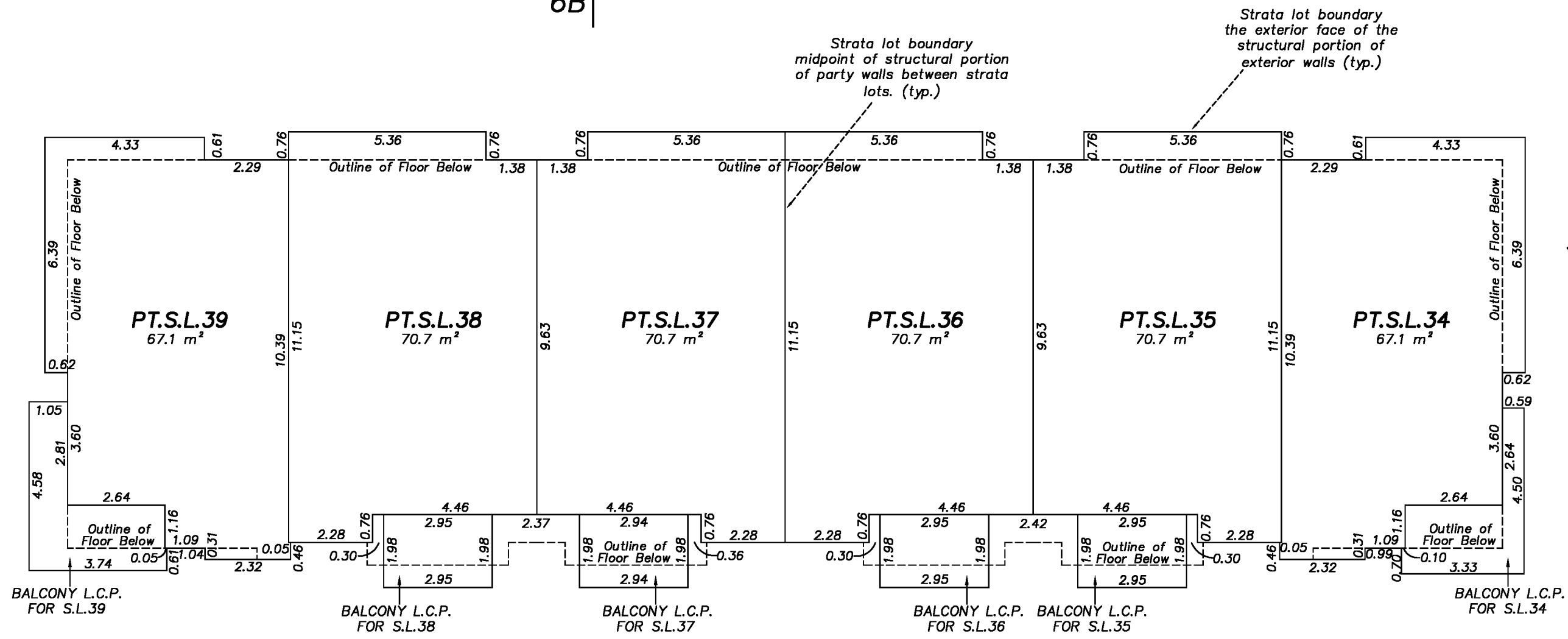


6A

6A

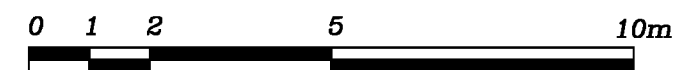
6B

6B



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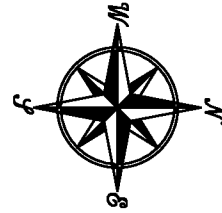
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JOHNSON C. TAM, B.C.L.S.
March 27th, 2023

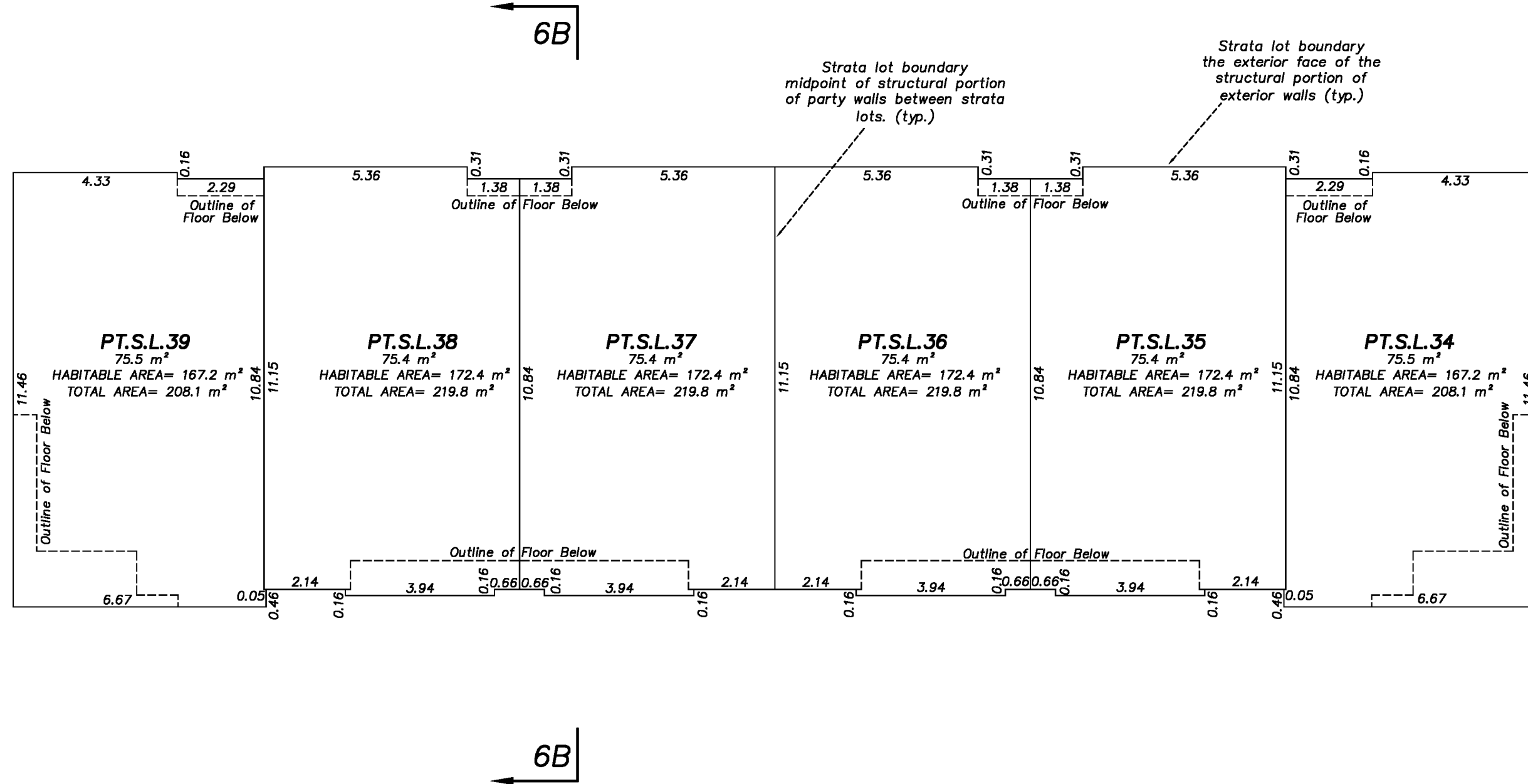
BUILDING 6
PART STRATA LOTS 34 TO 39
LEVEL 3

SHEET 5 OF 7 SHEETS
STRATA PLAN EPS8626
PHASE 2



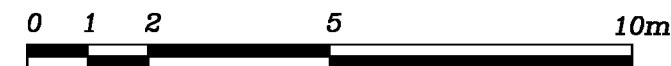
6A

6A



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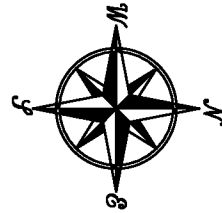
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JOHNSON C. TAM, B.C.L.S.
March 27th, 2023

BUILDING 6
PART STRATA LOTS 34 TO 39
LEVEL 4

SHEET 6 OF 7 SHEETS
STRATA PLAN EPS8626
PHASE 2

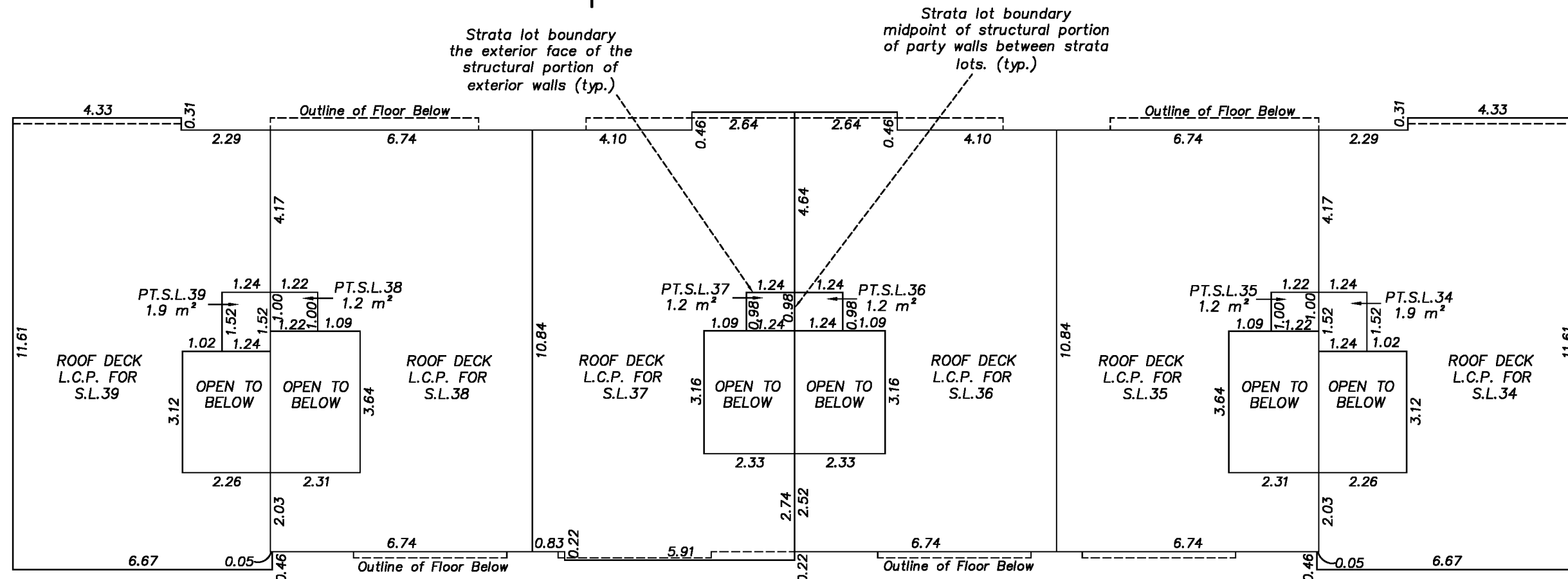


6A

6A

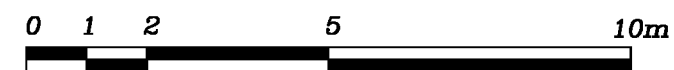
6B

6B



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 File: 5103-FS-Ph2

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 125



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED

NOTE:
 This sheet shows strata lot boundary dimensions to the exterior face of exterior structural walls and the midpoint between structural portions of party walls between strata lots.

Section arrows on this plan point in the direction of view.

JOHNSON C. TAM, B.C.L.S.
 March 27th, 2023

BUILDING 6 CROSS SECTIONS

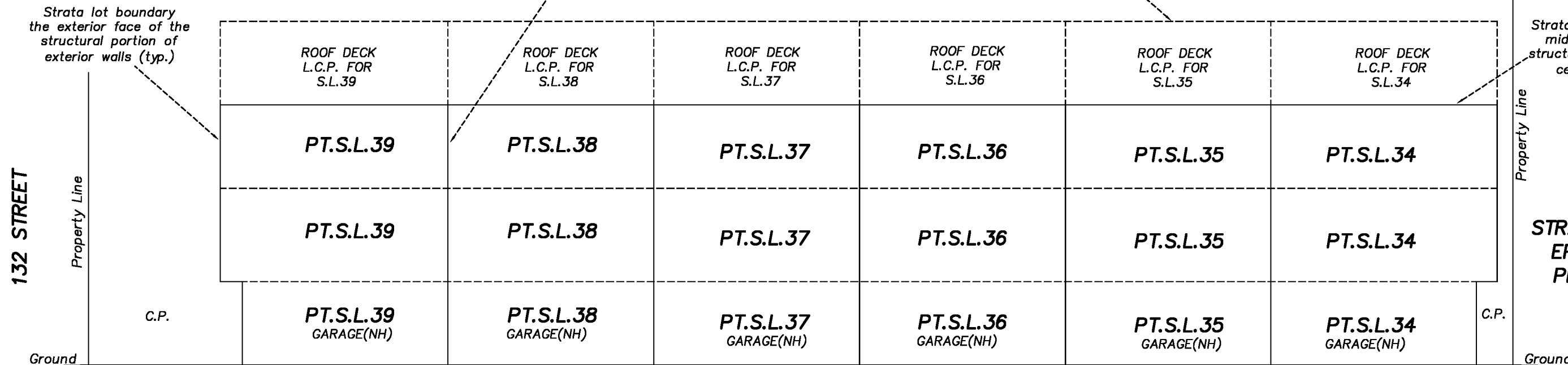
SHEET 7 OF 7 SHEETS

STRATA PLAN EPS8626

PHASE 2

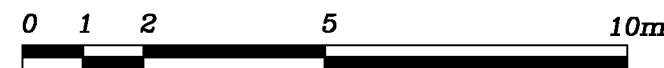
Strata lot boundary midpoint of the structural portion of ceiling (typ.)

STRATA PLAN EPS8626 PHASE 1



CROSS SECTION 6A - 6A

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 125



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED

NOTE: This sheet shows strata lot boundary dimensions to the exterior face of exterior structural walls and the midpoint between structural portions of party walls between strata lots.

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LEVEL 4

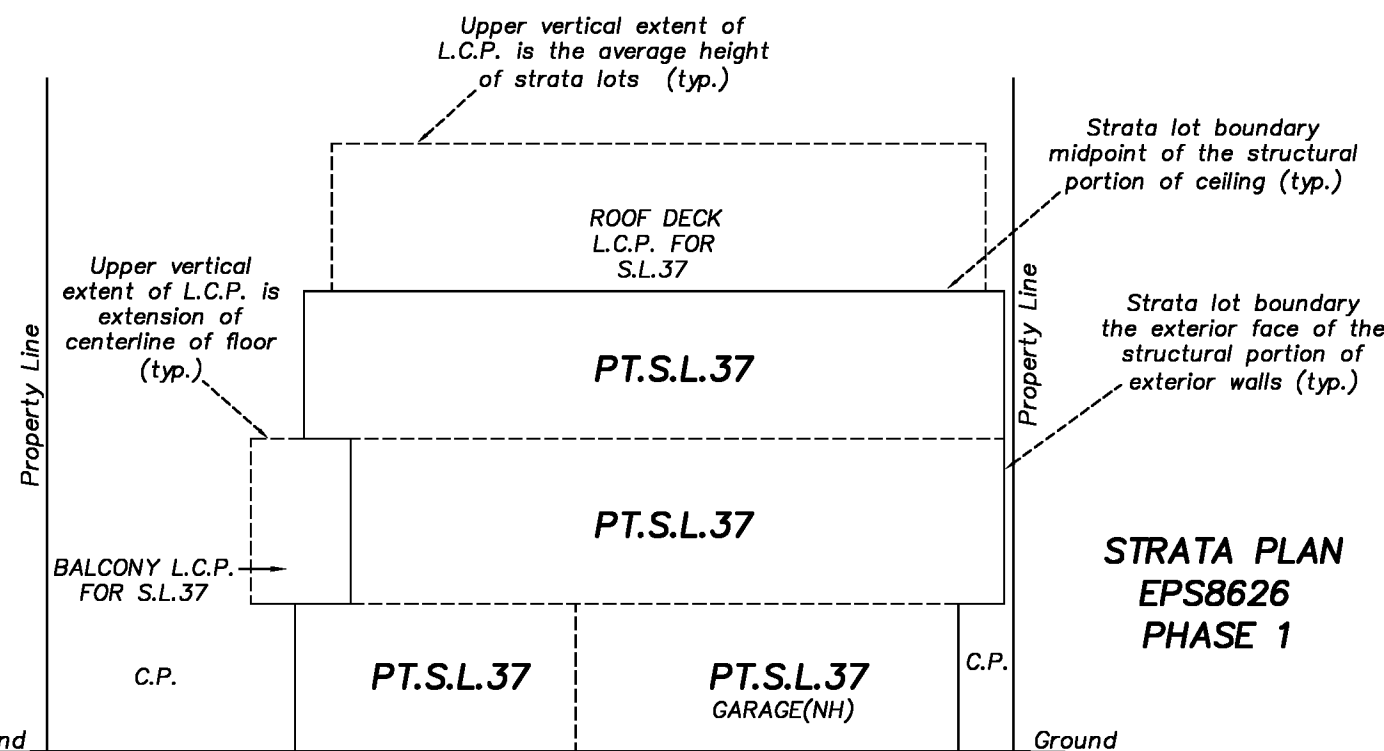
LEVEL 3

LEVEL 2

LEVEL 1

PARK

Ground



CROSS SECTION 6B - 6B

Strata lot boundary centerline of concrete slab (typ.)

JOHNSON C. TAM, B.C.L.S.

March 27th, 2023